		DRAWING REGISTER	
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DA 000	В	Cover Page	
DA 001	В	Design Intent	1:50
DA 002	В	Calculations	1:250
DA 004	В	Site Analysis	1:200, 1:75
DA 005	В	Site Plan	1:100
DA 010	В	Demolition Plan - Ground Floor & L1	1:100
DA 011	В	Demolition Plan - Roof	1:100
DA 100	В	Ground Floor & L1 Plan	1:100
DA 101	В	L2 & L3 Floor Plan	1:100
DA 102	В	L4 & L5 Floor Plan	1:100
DA 103	В	L6 & L7 Floor Plan	1:100
DA 104	В	Rooftop Floor Plan	1:100
DA 200	В	Elevations	1:100
DA 201	В	Elevations	1:100
DA 202	В	Elevations	1:100
DA 300	В	Sections 01	1:100
DA 301	B	Sections 02	1:100
DA 302	B	Sections 03	1:100
DA 303	B	Detailed Section - Future Development	1:100
DA 400	B	Heritage Component	1:20
DA 620	B	Schedule of External Finishes	1.000
DA 700	B	June 21 9am Existing Shadow Diagram	1:200
DA 701 DA 702	B B	June 21 9am Proposed Shadow Diagram June 21 12pm Existing Shadow Diagram	1:200 1:200
DA 702 DA 703	B		
DA 703 DA 704	B	June 21 12pm Proposed Shadow Diagram June 21 3pm Existing Shadow Diagram	1:200 1:200
DA 704 DA 705	B	June 21 3pm Proposed Shadow Diagram	1:200
DA 703 DA 720	B	Solar Analysis	1:100
DA 720 DA 800	B	Notification Plan 01	1:400
DA 800 DA 801	B	Notification Plan 02	1:400
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MIXED USE BOARDING HOUSE DEVELOPMENT

691 Pittwater Rd, Dee Why NSW



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3D PERSPECTIVE BY BKA ARCHITECTURE

EXISTING SITE PANORAMIC PHOTO

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arc	hitecture		elopment	DRA	AWN	AT/JG	CHECKED	JK
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St,	10 Station St, Bangalow NSW 2479	CLIENT Gannet Developments		NOF	RTH		DA 000)
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LOCATION & CONTEXT

This proposal is for a mixed use, 64 room boarding house development located in the heart of Dee Why's Town Centre at 691 Pittwater Road, Dee Why. Dee Why Town Centre and Pittwater Road is characterised by a mix of commercial buildings 2-3 storeys high and newer mixed use multi-residential buildings with retail at Ground level up to 15 stories in scale. Pittwater Road is a major public transport route and has a high volume thoroughfare of cars, buses and pedestrian activity.

The site enjoys excellent access to **public transport services** including 11 bus stops within 400mm walking distance. These bus stops offer a variety of routes including the express **B-Line** bus to the City/Wynyard as well as services to Manly, Palm Beach, Elanora Heights, North Sydney and Mosman. This site is within walking distance to the Town Centre's central amenities including Northern Beaches Council, Dee Why Library, and the Village Plaza, as well as the wider town centre and Dee Why Beach. This lends the site as appropriate for convenient affordable residential accommodation for key members of the public who value ease of location and access to amenities and the beach.

The site forms part of a triangular block bound by Pittwater Road to the South-East, Fisher Road to the West, and St David Avenue to the North. Situated beside retail businesses at 693a Pittwater Road and 689 Pittwater Rd, the subject site is located in a **B4 Mixed Use Zone**. Partially adjoining the rear of the site on Fisher Road is the Salvation Army which consist of 4 buildings including a church.

The immediate context of 691 Pittwater Road looks towards higher density, a diversifying population and supports affordability. Located nearby at 701 Pittwater Road is a newly developed apartment block and highlights the current progression and transformation of the Town Centre.

The site is approximately 650m² in area and is legally known as Lot 1 in DP166322.

HERITAGE & ARCHITECTURE

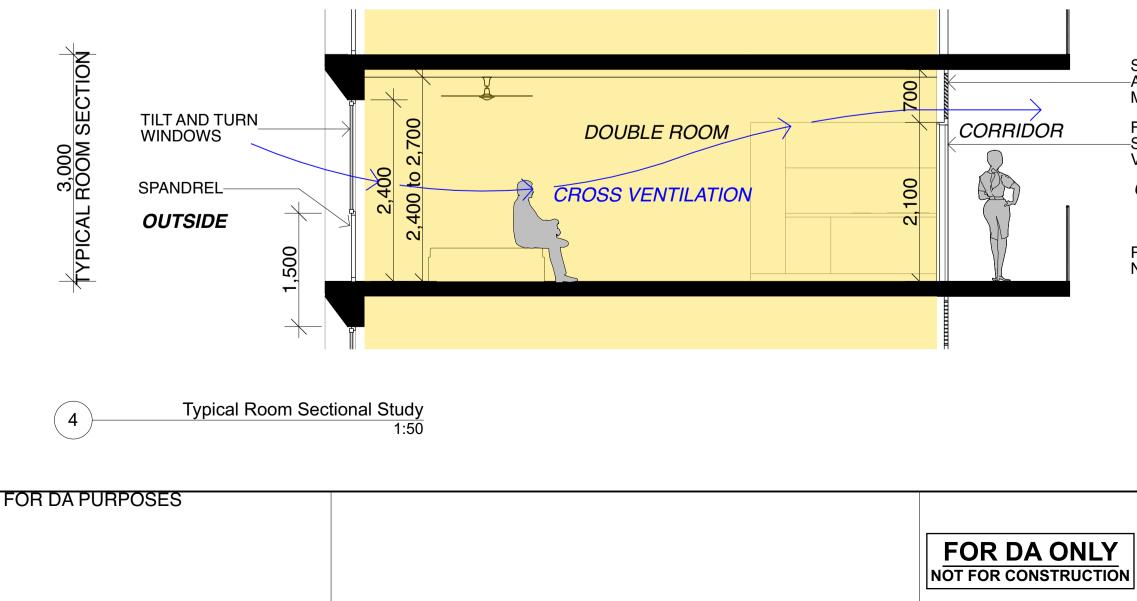
The facade of the existing building at 691 Pittwater Road is listed as an item of environmental heritage in the WLEP 2011, identified as I48 on the LEP maps. The two storey **Art Deco** style building was built in 1941 and operated as a Commonwealth Bank Branch up until 2018. Whilst extensive alterations have occurred on the interior, only minor modifications have been made to the front facade. These include an additional room on the right hand side of the facade to allow for AMT facilities, a large awning to cover the footpath, and black paint to the original red granite. The awning is a continual theme along the street frontage, however, detracts the original essence of the historical facade

The proposal seeks to restore the front facade to its original intent via removing the ATM partition walls to reveal the symmetrical nature of the Art Deco style. The awning is also proposed to be removed and replaced with a small glass awning limited to above the new proposed accessible entryway.

The addition of the boarding house development not only respects the historical significance of the building, but further adds to the gentrifying streetscape. Typical of **Art Deco characteristics**, and similar to the retained heritage facade, the proposal offers an overall composition inclusive of a strong vertical emphasis, geometric forms, smooth wall surfaces and a stepped outline.

The plan consists of an 'E' built form with a front, middle and rear bock with an internal courtyard. Both front and rear facades portray the same characteristics of the typical Art Deco style. The rear block includes a rooftop urban farm whilst the top storey of the front facade is further recessed from the street and changes materiality.

The middle block is situated within the internal courtyard void and is separated from its neighbouring boundary by 6m. This assists on a range of essential factors including additional solar access and natural ventilation, increased visual dynamics and **increased privacy** throughout each level. Similarly to the front and rear facade, the middle block continues the motifs of floor to ceiling windows, angular walls and geometric forms.



View From Corner of Pittwater Rd & Fisher Rd

SELF CLOSING LOUVRES ON ACTIVATION WITH DRENCHES MIN 5% OF ROOM AREA TO BCA FIRE DOOR AND SAFETY SCREEN DOOR FOR ADDED VENTILATION

COURTYARD

REFER TO BASIX, SECTION J & NOISE IMPACT RÉPORTS

All dimensions are in millimetres unless stated otherwise.



FSR & USES

(2)

The development consists of retail and office spaces as well as 63 boarding rooms over 7 storeys plus a manager's room. Due to the site being in an Accessible Area (land within 400m walking distance of a bus stop used by a regular bus service), the affordable housing component is suitable and encouraged.

"Boarding houses serve an important role in providing low cost accommodation for people who value affordability and location over space, and who prefer simple, flexible and tenure arrangements. - NSW Government planning - AHSEPP Review 2010

Not only do these arrangements provide housing opportunities for low and moderate income earners, it also encourages cultural and economic diversity, assists local businesses to attract and retain employees, and promotes "live near work" housing which helps alleviate traffic congestion and the environmental impacts associated with long commutes.

The proposed development achieves an FSR lower than the maximum allowed. The site has an allowable FSR of 4:1 and the proposal for the boarding house achieves and FSR of 3.64:1.

It comprises a New Generation Boarding House where each room consists of a private bathroom, kitchenette and a combination washer dryer to allow for independence and flexibility. The proposal includes four accessible rooms as required by the BCA.

The site currently provides zero landscaped or deep soils areas. The proposed development greatly improves the status quo by providing 147m² of **deep soil planting** (>22% of the site) and rooftop urban farm. The ground floor street frontage is traditionally used as retail and is being retained. An accessible entry to the rest of the development is provided through the western thoroughfare via a ramp. This leads up to a communal courtyard area which includes **127 bicycle spaces** (in lieu of zero carparking), retail facilities, and communal waste rooms. In addition, three levels of podium towards Pittwater Road retains as commercial; consistent with the existing and future character of the area.

A communal living, kitchen and dining are located on the top floor of the front block and benefits from the northern orientation as well as ocean views of Dee Why Beach to the South-East. It also directly connects to oversized communal outdoor areas. The communal area to the North takes advantage of passive solar design as they receive a minimum of 3 hours of sunlight between 9am and 3pm in mid winter. The proposed urban farm also promotes communal activity and socialisation. It encourages a healthy lifestyle and living opportunities within the Boarding House.

The proposal looks towards the near future and **advocates for sustainability** and carbon neutrality. The following sustainable strategies have been implemented: - A large solar power arrangement efficiently orientated on the rooftop, plus rainwater catchment system to further boost the project's green credentials. - The 'E' shaped formation makes the best use of solar access, views and

protection from strong and gusty winds. - Solar access and cross ventilation achievements including ceiling fans and no air conditioning.

- The innovation of bicycle parking as a substitute for car parking not only promotes healthy lifestyles, but further reduces the environmental impact of traffic congestion and pollution.

The proposal also caters for the **future laneway** envisioned by Council, running through the rear 6m setback provided within the site. Waste collection, services and the possibility of up to three car parking spaces were strategically located towards this area for this purpose.

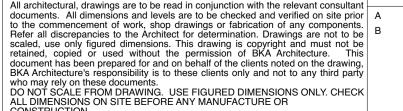
Due to the importance to retain the original heritage facade; a mix of materials consisting of precast concrete and lightweight metal cladding, provide a sense of tradition and durability. Reflective of the Art Deco style of smooth facades and vertical compositions, the precast concrete respects the traditional material of its surroundings.

There is also an opportunity for an extensive artwork/mural to be provided along the courtyard wall which will further enhance the communal ground floor areas. The architectural style and quality of materials proposed for 691 Pittwater Road embraces a **contemporary addition** to the fast changing and growing neighbourhood. It is because of this that the proposal is an opportunity for creative endeavour, which results in a unique design with ties that link the past to the present.





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QUALITY OF MATERIALS

The **natural palette** has been accentuated by earthy paint tones which highlights a different shade on each floor level. As well as this, a sense of delicacy and refinement is portrayed via black metal balustrades, awnings and window accents.



View From Corner of Pittwater Rd & St David Ave

Mixed Use Boarding House Development DRAWN AT/JG CHECKED NEWCASTLE BYRON BAY ADDRESS DATE 16/3/20 DRAWING No. Suite 4 10 Station St, Newcastle Date 16/3/20 DRAWING No. NSW 2300 NSW 2479 CLIENT Gannet Developments NORTH DATE 16/3/20 DATO 0 T: +61 2 4926 5563 T: +61 2 4926 5563 DRAWING DRAWING NORTH DATE DATE DATO					5			10
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DA Calculations

Project Number: 19049 Project Address: 691 Pittwater Rd, Dee Why Date: March 2020

GFA and FSR Controls	Control LEP	Proposed	Compliance
Site Area (sqm):	650		
FSR:	4:1	3.64:1	
Max GFA (sqm):	2600	2365.64	
ARH SEPP Bonus *	N/A		

*26 (1) (c) if the development is on land within a zone in which residential flat buildings are permitted and the land does not contain a heritage item that is identified in an environmental planning instrument or an interir heritage order or on the State Heritage Register—the existing maximum floor space ratio for any form of residential accommodation permitted on the land, plus:

(i) 0.5:1, if the existing maximum floor space ratio is 2.5:1 or less, or

(ii) 20% of the existing maximum floor space ratio, if the existing maximum floor space ratio is greater than 2.5:1.

Net GFA (sqm)				
Level	Commercial /	Office	Residential	Communal /
	Retail			Service
Ground Floor	82.40			107.19
Level 1		130.71	150.25	57.33
Level 2		56.07	150.25	57.33
Level 3			268.38	60.11
Level 4			268.38	60.11
Level 5			272.71	60.11
Level 6			272.71	60.11
Level 7			138.48	113.01
Total:	82.4	186.78	1521.16	575.3

Devision Constructo				means a part of a s	ite used for	Area DCP =	Floor	= -
Parking Controls	De surire d DOD	Dranaad	Osmalianss	growing plants, gra		130	Level 7 &	14.23 +
Control	Required DCP	Proposed	Compliance	but does not includ			Roof Top	+1.34 +
Car Parking Boarding House	Average 33%**	0		area	,		TOTAL	14
	per unit = 22 spaces		×					
Car Parking Retail	1 / 16.4 sqm = 5		×					
	spaces	0						
Car Parking Offices	1 / 40sqm = 5		×					
1	spaces	0						
TOTAL Car Parking Required	32		× (-32)	Existing Car Parking Requirements. Bank Branch	Required DCF	P Curre	ent C	Compliance
Motorcycle Parking Provided:	-	0	N/A	Customer Service = 587.63 sqm.	1 / 16.4sqm = 3	6	0	
Bicycle Parking Provided:	Boarding House			(Ground Floor)	spaces		0	×
	1x10 beds +			Office = 368.82 sqm	1 / 40sqm = 9			
	Visitors 1x20 beds			(Level 1)	spaces		0	×
	12+6 = 18			TOTAL Existing Car Parking required:		45	0	× (-45)
	Office Employees	127	V (+80)		NOTE: Proposed of			
	1/200m2 + Visitors	121			parking spaces de			
	1/750 m2 = 1				provided in exces	s at a rate of 2	x Boarding R	bom.
	Retail 1/200m2 +							
	Visitors $1/600m2 =$							
	1				1000			

Average by UNSW **Research Paper



(10)

Height Plane



FOR DA PURPOSES

Compliance \checkmark \checkmark

Setback Controls DCP

Height Controls LEP

roposed Rooms

Ground Floor

Level 1

Level 2 Level 3 Level 4 Level 5 Level 6

Level 7

Current LEP Height Limit 27m

Levels

4th Level

Front Setback 5m from kerb first 4th

Front Setback 9m from kerb above

ommunal Living and Open Space Level

Communal Living Space (sqm)

Communal Open Space (sqm)

Landscaped Area (sqm) DCP

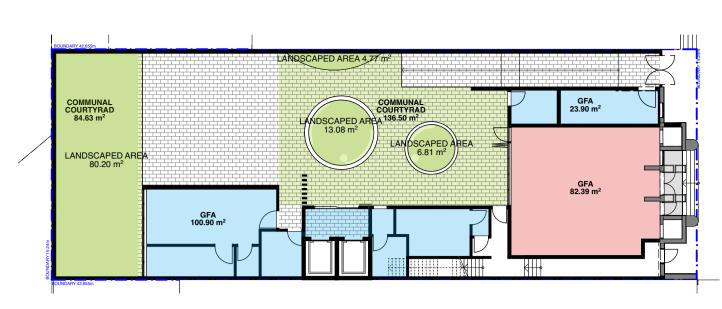
Boarding House

NOTE: Heritage item setback prevails

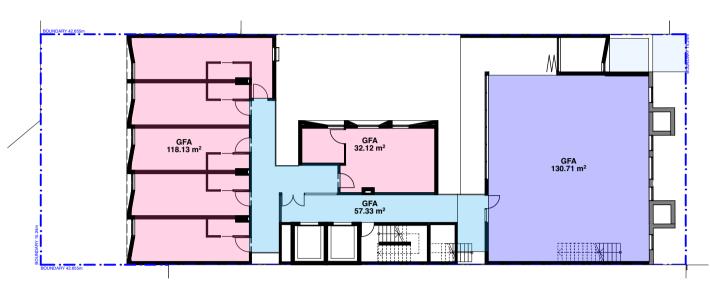
oposed Rooms						
Level	Single	Double	Accessible ***	Manager		
	Rooms	Rooms				
round Floor						
evel 1		5	1			
evel 2		5	1			
evel 3		10	1			
evel 4		10	1			
evel 5	2	10				
evel 6	2	10				
evel 7		5		1		
Total Per Type:		55	4	1		
TOTAL Overall Room Numbers:						

*** Min Req BCA: 61 to 80 Units = 4 Accessible 🗹

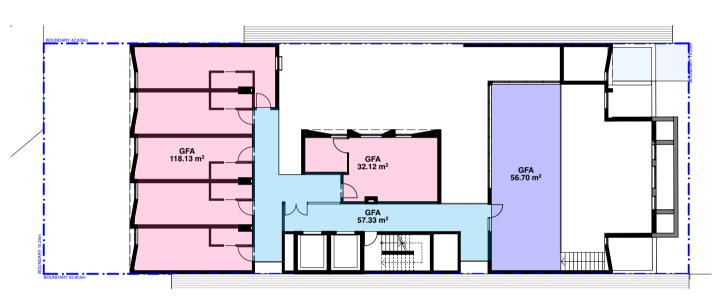
Required	Room	Proposed Area (sqm)
size not specified	Communal Lounge	52.60
20 (ARH SEPP)	Roof Terraces	40.35 + 34.55 = 74.9 √ (+74.9 sqm)
20% of Site Area DCP =	Groud Floor	80.2 +4.77 + 13.08 + 6.81 = 104.86
130	Level 7 & Roof Top	14.23 + 22.59 + 1.34 +1.34 + 2.24 = 41.74
	TOTAL	146.6 🗸



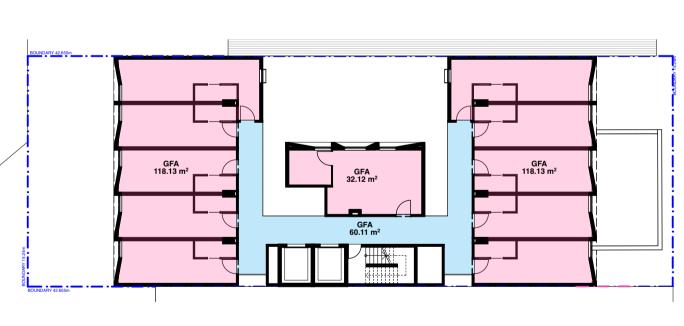












Level 3 GFA (4) 1:250

LEGEND



DEEP SOIL

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SERVICES/CORRIDORS **RETAIL GFA**

RESIDENTIAL GFA

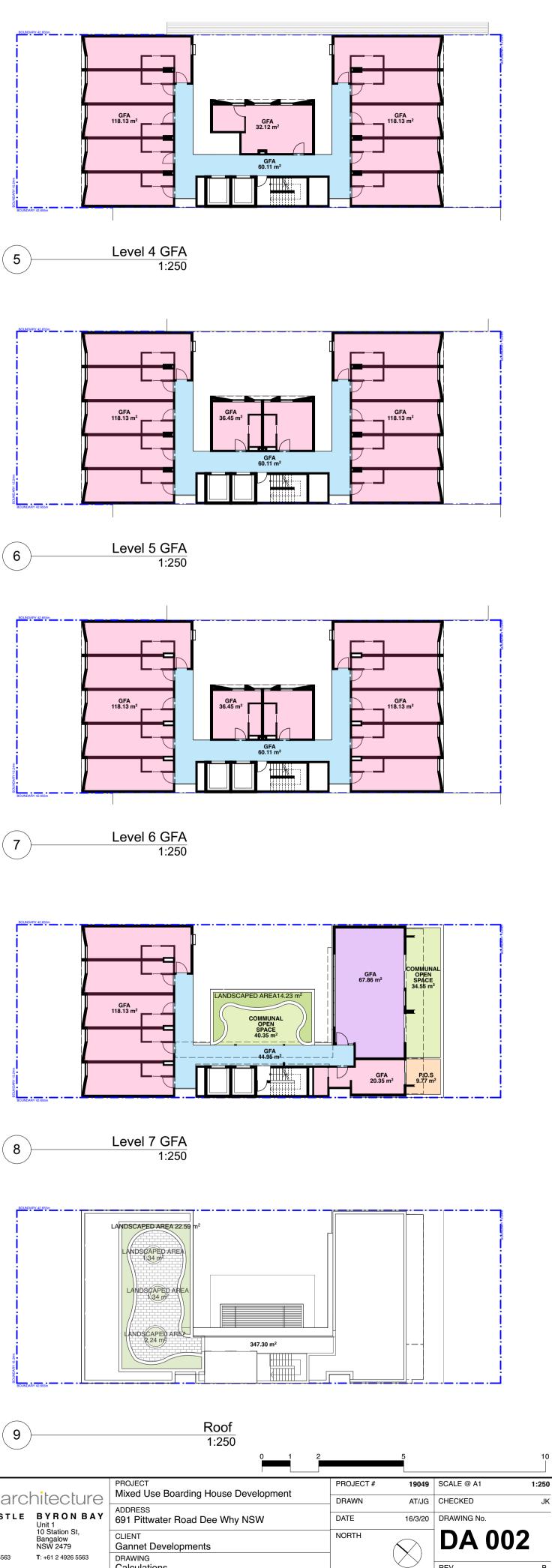
COMMUNAL ROOM GFA MANAGER'S P.O.S

COMMERCIAL/OFFICE GFA



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Calculations

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Location Plan 1:750

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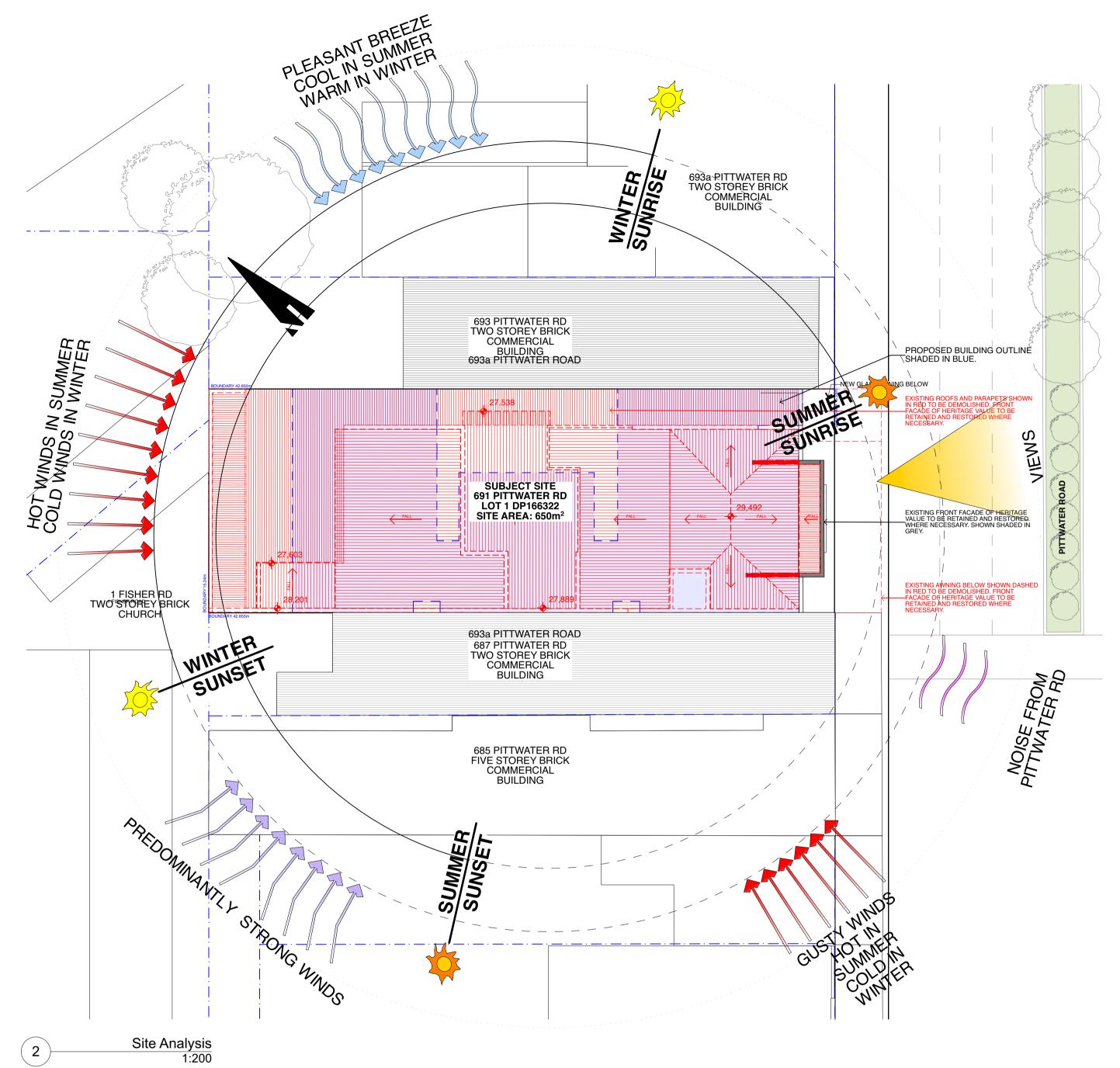
View of 691 Pittwater Rd from opposite side of street. Art Deco style building built in 1941 with front facade of heritage value.



Entrance to site. Original red granite plinth painted in black to be restored.

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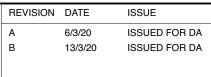


View of subject site and neighbouring properties from Pittwater Rd intersection at Howard Avenue. Newly constructed apartment building at 701 Pittwater Road.

View from subject site to other side of Pittwater Rd. Nearby traffic lights and intersection as well as a 7 storey apartment block and commercial buildings.

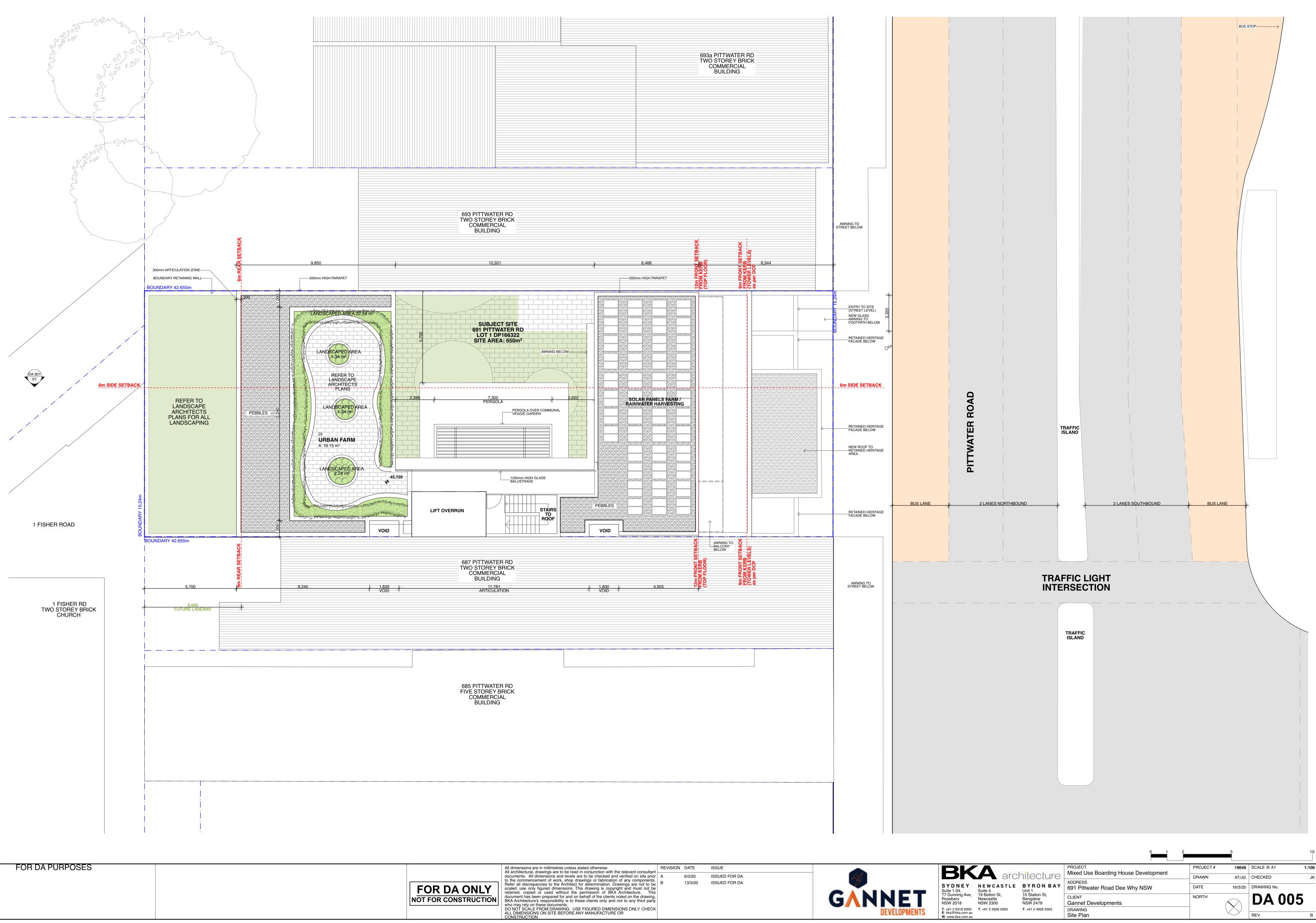


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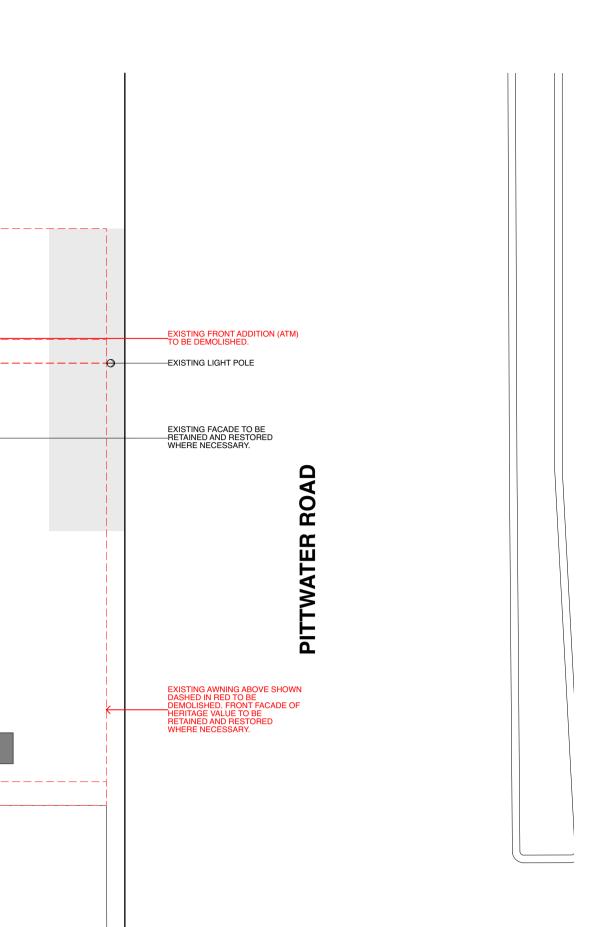
Gannet Developments

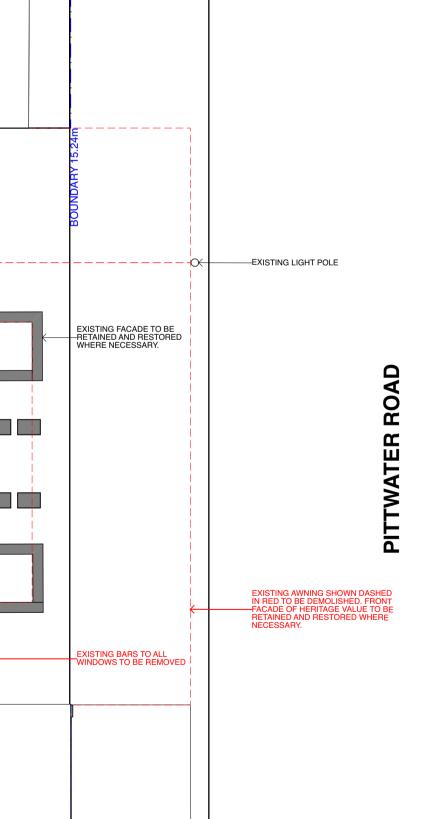
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DRAWING Site Plan

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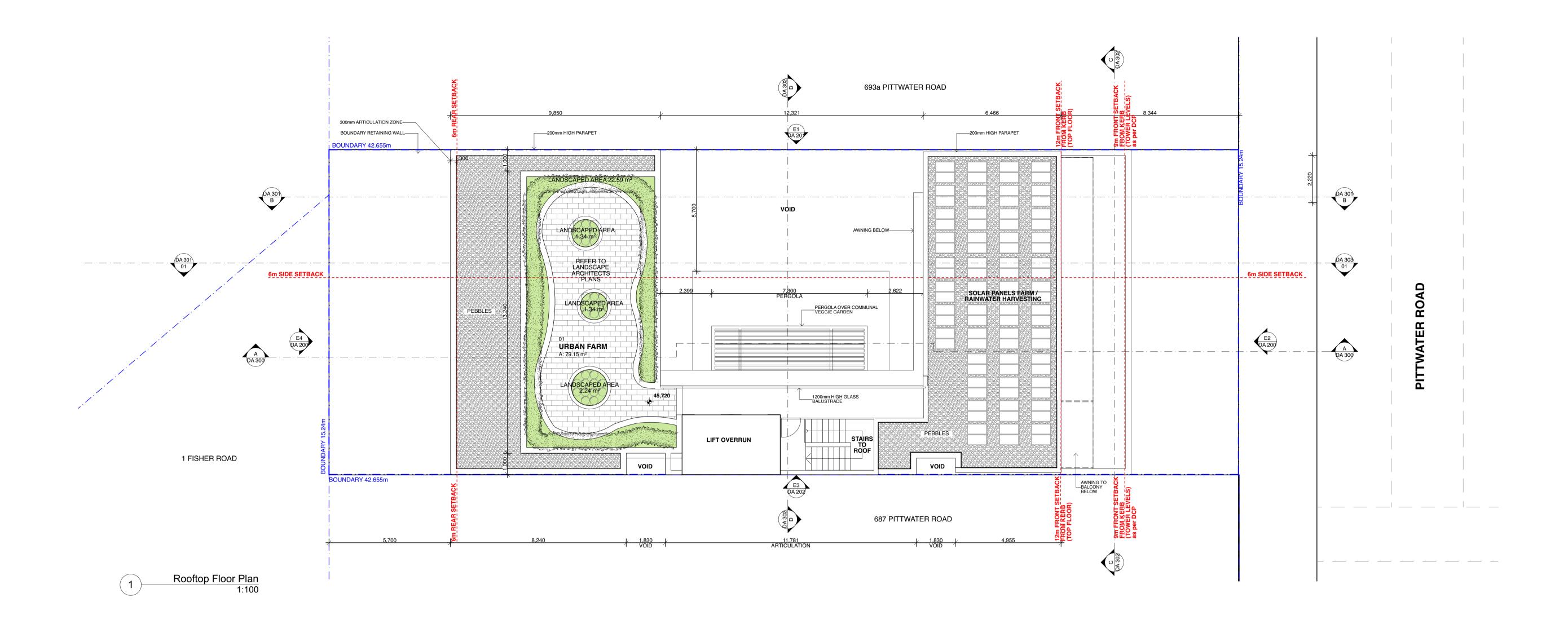
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LE	BYRON BAY Unit 1	ADDRESS 691 Pittwater Road Dee Why N	SW		DATE	16/3/20	DRAWING No.	
	10 Station St, Bangalow NSW 2479	CLIENT Gannet Developments			NORTH	$\langle \rangle$	DA 1 ()3
3	T : +61 2 4926 5563	DRAWING L6 & L7 Floor Plan				\bigtriangledown	REV	В









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ALL DIMENSIONS ON SITE BEFORE ANY MANUFACTURE OR
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arc	hitecture			DF	RAWN	AT/JG	CHECKED	JK
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n St, e)0	10 Station St, Bangalow NSW 2479	CLIENT Gannet Developments		NC	DRTH	\bigcirc	DA 10	4
926 5563	T : +61 2 4926 5563	DRAWING Rooftop Floor Plan				\bigcirc	REV	В

685 PITTWATER RD

687 PITTWATER RD

691 PITTWATER RD



(1)

Southeast Elevation - Pittwater Rd Street Frontage 1:100

Schedule of External Finishes

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1. Existing Concrete Block Wall Colour: White



2. Existing Granite
Cladding3. Glass Canopy
Awning
Colour: RedColour: RedColour: Clear Granite





4. Metal Balustrade 5. Precast Colour: Black



FOR DA ONLY NOT FOR CONSTRUCTION 693a PITTWATER RD

693a PITTWATER RD

691 PITTWATER RD

〔2〕

Northwest Elevation 1:100



Concrete Panels Colour: White and grey with accents of colour



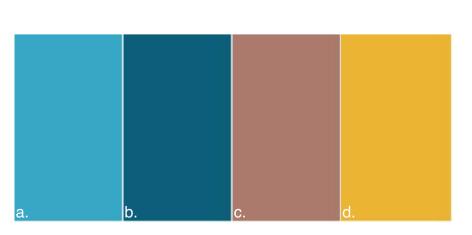
6. Standing Seam Cladding Colour: Mid grey



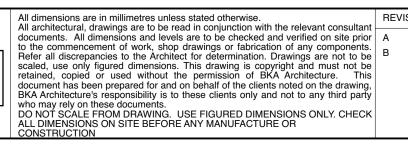
7. Steel Window Shades Colour: Monument or similar











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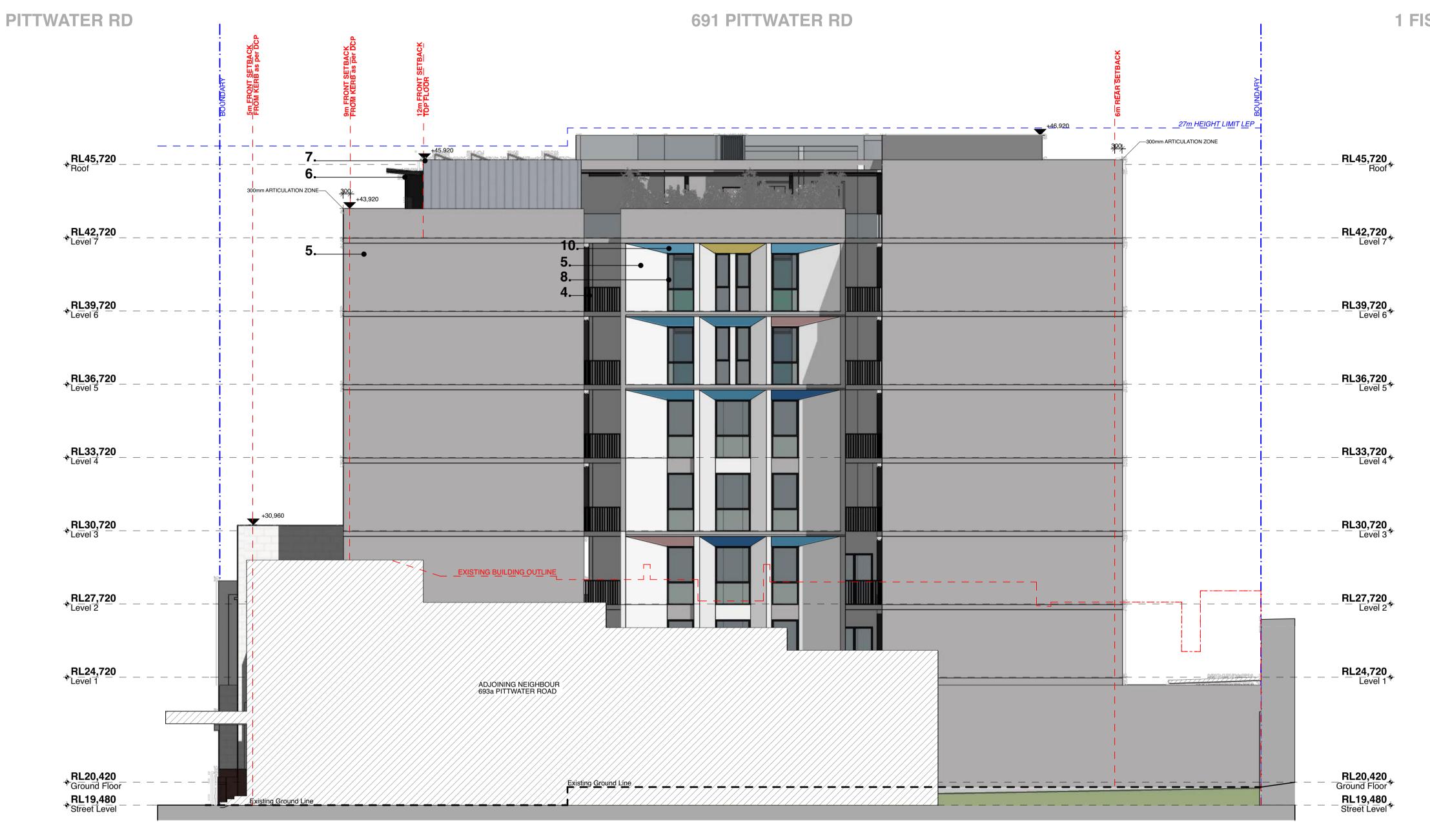




687 PITTWATER RD 685 PITTWATER RD

8. Aluminium
Window and Door
Frames
Colour: Black9. Timber Looking
Lift Lobby
Screening10. Accent Paint Colours in Concrete
a. Dulux Satorini (S33H3)
b. Dulux Copacabana (S33H7)
c. Dulux Rosetta (S07D5)
d. Dulux Buzz (S15H7)

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Northeast Elevation (1)1:100

Schedule of External Finishes

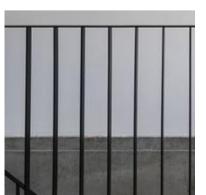
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1. Existing Concrete Block Wall Colour: White



2. Existing Granite
Cladding3. Glass Canopy
Awning
Colour: RedColour: RedColour: Clear Granite





4. Metal Balustrade Colour: Black **5. Precast Concrete Panels** Colour: White and







grey with accents of colour



6. Standing Seam Cladding Colour: Mid grey

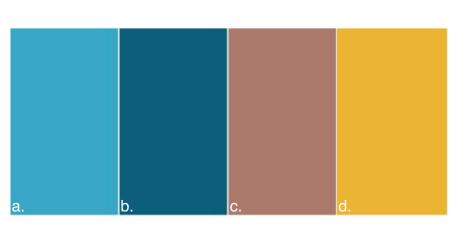


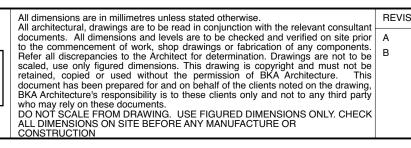
7. Steel Window Shades Colour: Monument or similar



8. Aluminium







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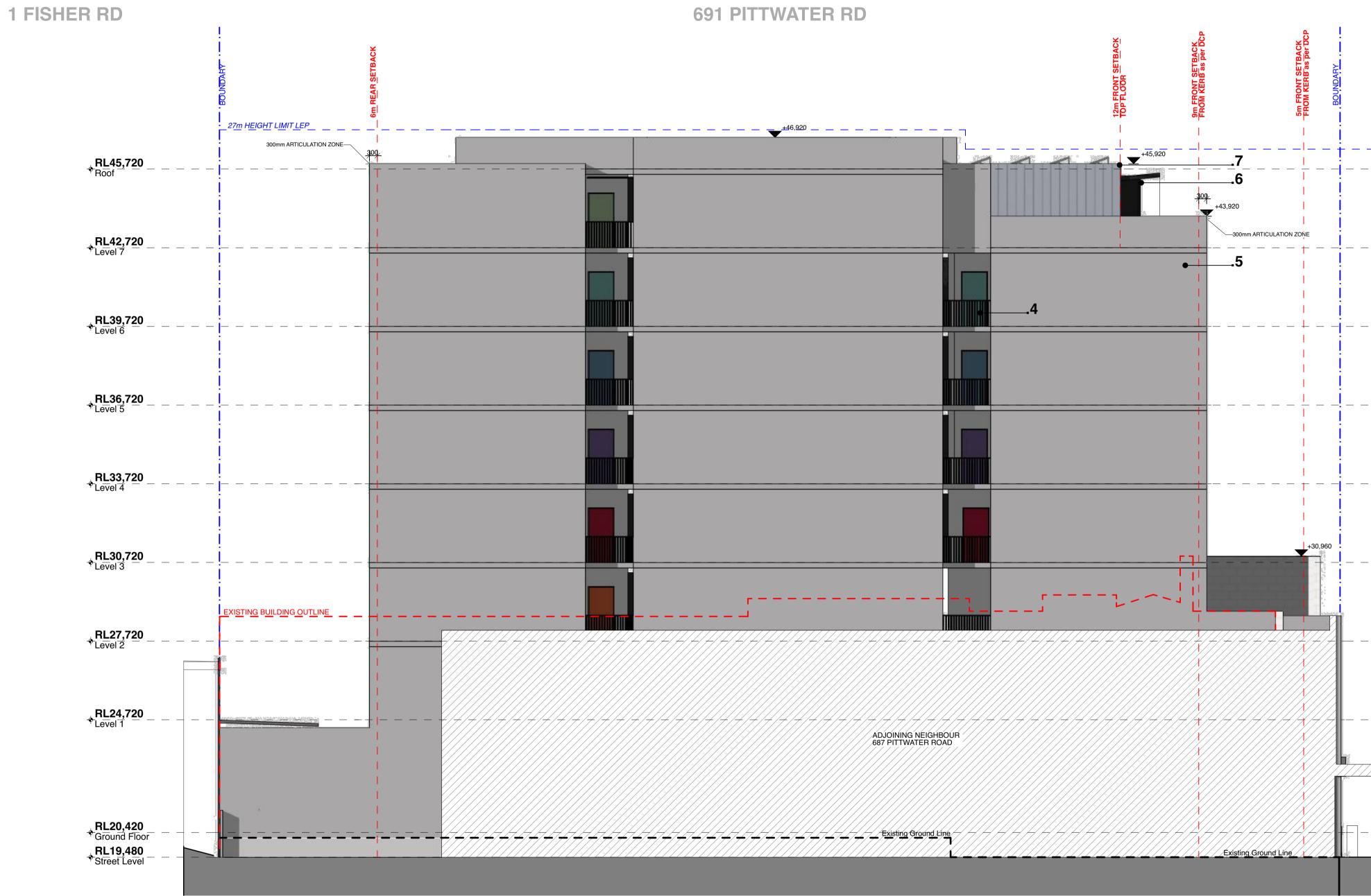




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8. Aluminium
Window and Door
Frames
Colour: Black9. Timber Looking
Lift Lobby
Screening10. Accent Paint Colours in Concrete
a. Dulux Satorini (S33H3)
b. Dulux Copacabana (S33H7)
c. Dulux Rosetta (S07D5)
d. Dulux Buzz (S15H7)

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Southwest Elevation (1)

Schedule of External Finishes

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1. Existing Concrete Block Wall Colour: White



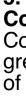
2. Existing Granite 3. Glass Canopy Colour: Red Granite



Awning Colour: Clear



4. Metal Balustrade 5. Precast Colour: Black





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Concrete Panels Colour: White and grey with accents of colour



6. Standing Seam Cladding Colour: Mid grey

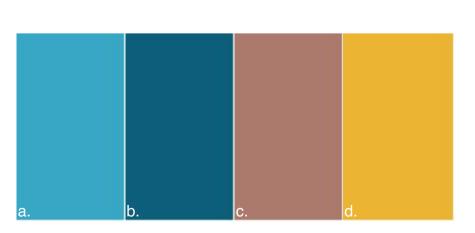


7. Steel Window Shades Colour: Monument or similar

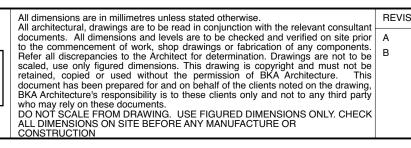


8. Aluminium









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PITTWATER RD

_ **RL45,720** Roof⁺

_ **RL42,720** Level 7 • _ **RL39,720** Level 6

- _ **RL36,720** Level 5 +
- _ **RL33,720** Level 4 +
- _ **RL30,720** Level 3⁺

_ **RL27,720** Level 2⁺

_ **RL24,720** Level 1 Ground Floor

_ **RL19,480** Street Level •

8. Aluminium
Window and Door
Frames
Colour: Black9. Timber Looking
Lift Lobby
Screening10. Accent Paint Colours in Concrete
a. Dulux Satorini (S33H3)
b. Dulux Copacabana (S33H7)
c. Dulux Rosetta (S07D5)
d. Dulux Buzz (S15H7)

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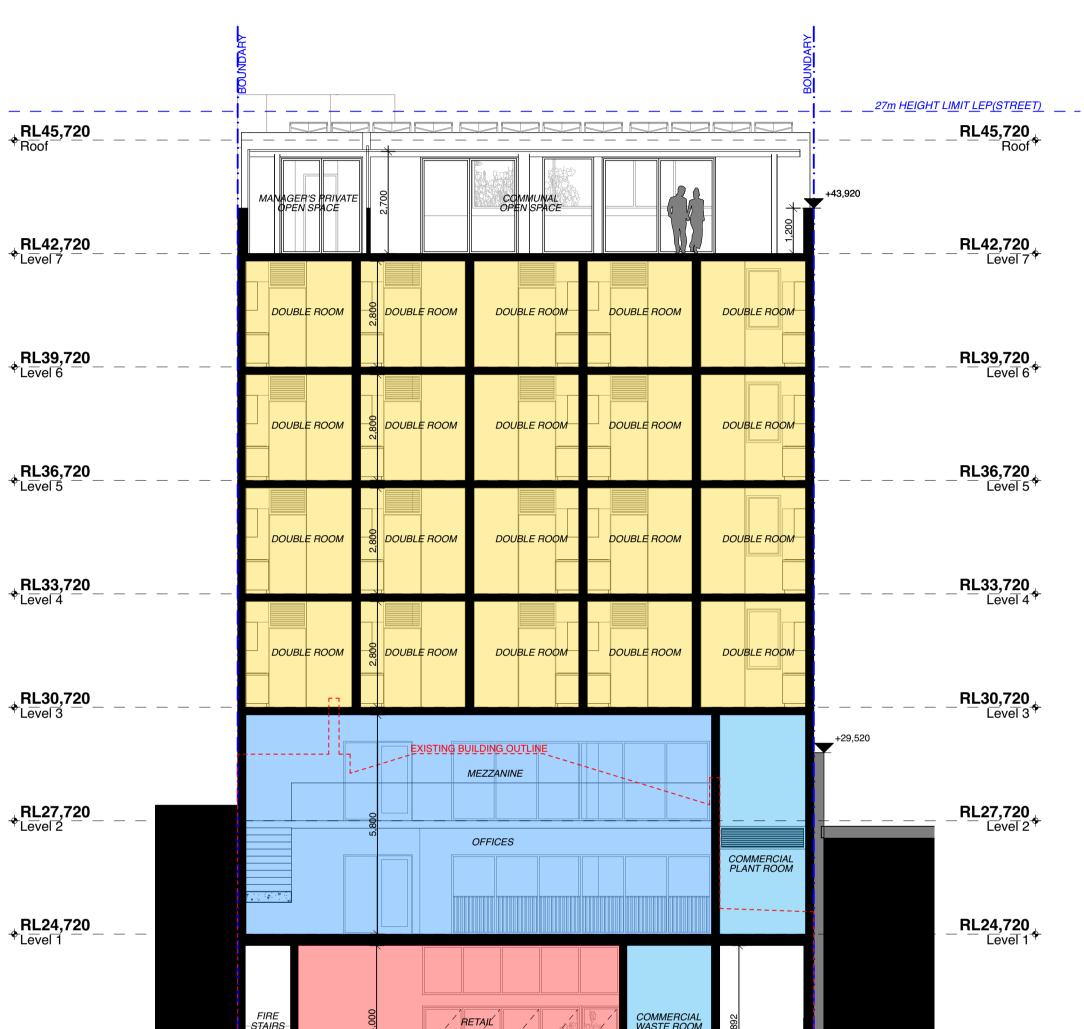


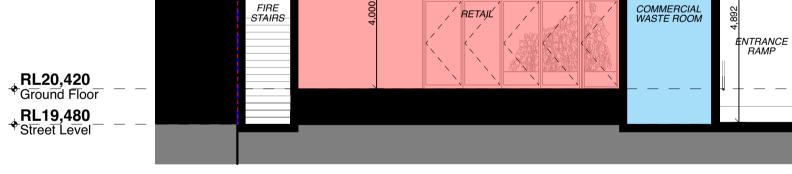
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Section C 1:100



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693a PITTWATER RD

_RL45,720 Roof *

_**RL42,720** Level 7 •

_**RL39,720** Level 6

_**RL33,720** Level 4

_**RL30,720** Level 3

_RL27,720 Level 2*

RL20,420 Ground Floor

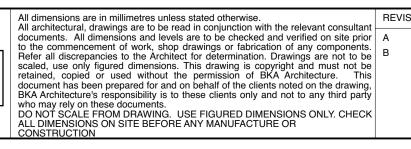
_**RL19,480** Street Level

693a PITTWATER RD

691 PITTWATER RD





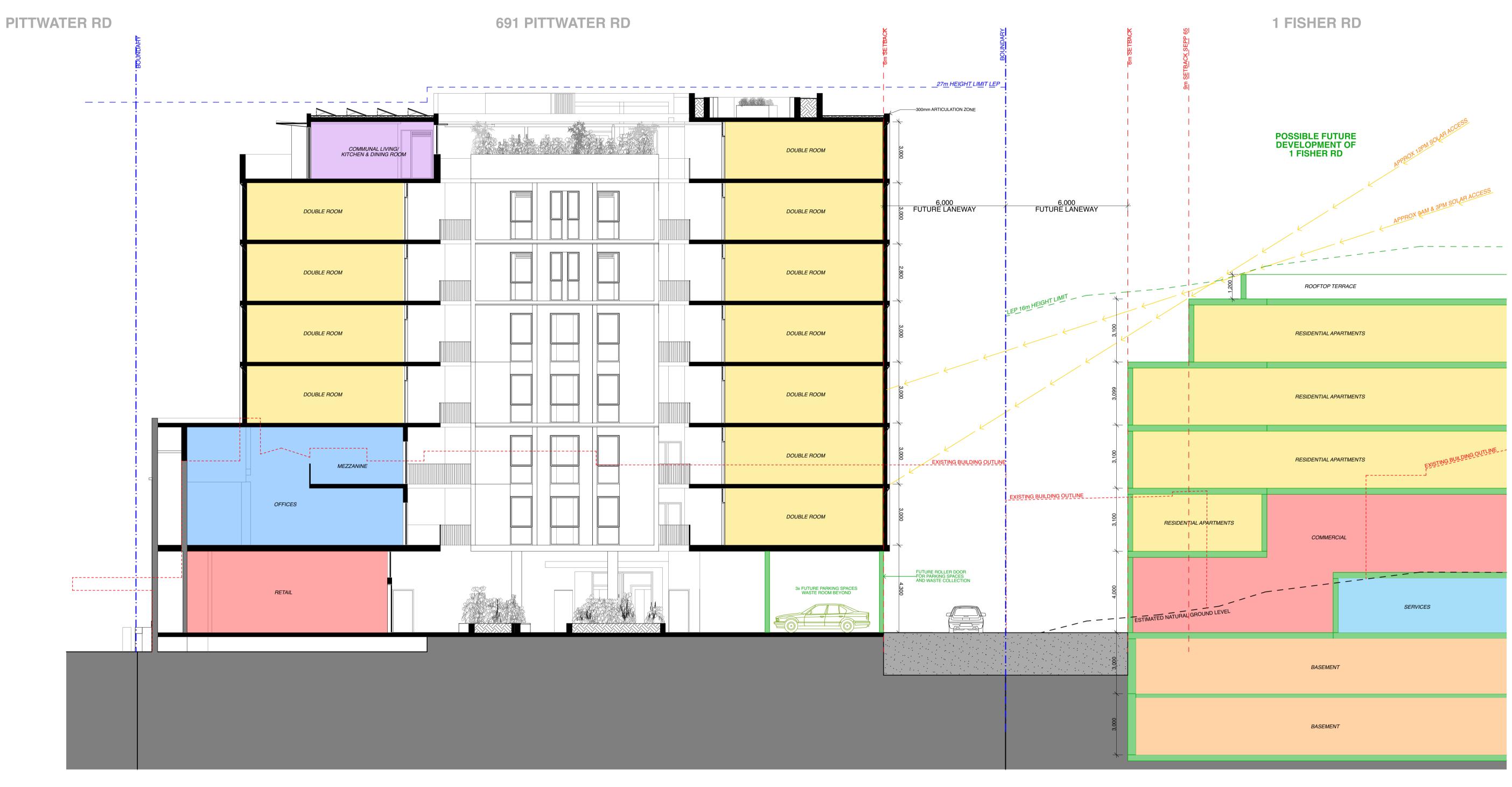


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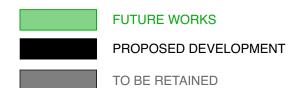
687 PITTWATER RD

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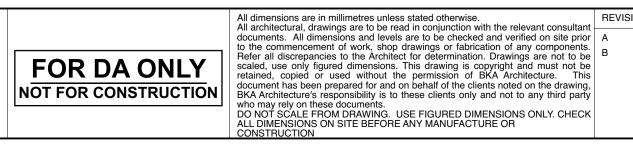
Future Laneway Sectional Detail 1:100

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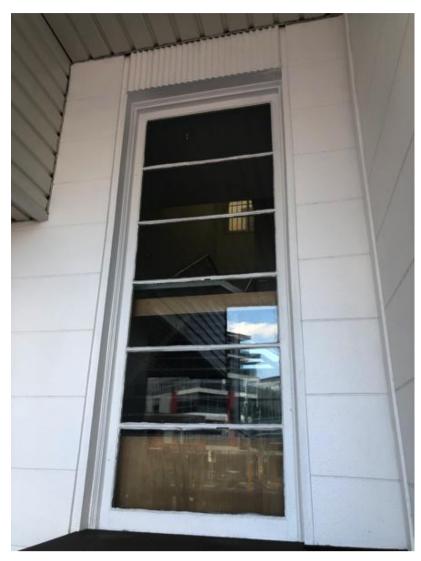




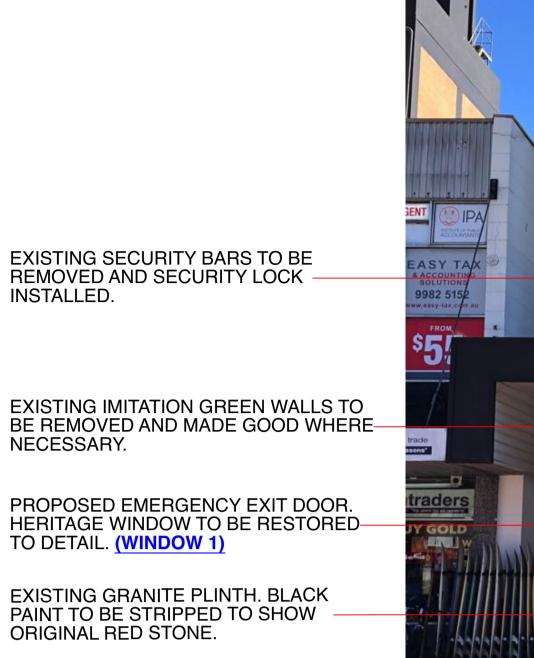
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St, 10 Station St, a Bangalow 0 NSW 2479 26 5563 T: +61 2 4926 5563		CLIENT Gannet Developments	NORTH		DA 303		
		DRAWING Detailed Section - Future Development			REV	В	

HERITAGE COMPONENT



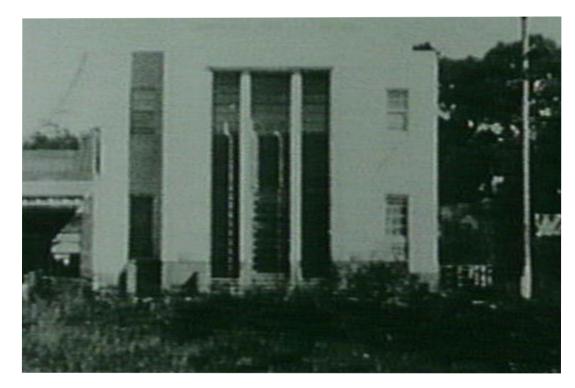
Window 1: Existing heritage window viewed from street, with staircase behind. Head detail to be matched in other restored window.



RMS PILLAR-

GENERAL

Proposal for the heritage facade of 691 Pittwater Rd, Dee Why, to be retained and restored.



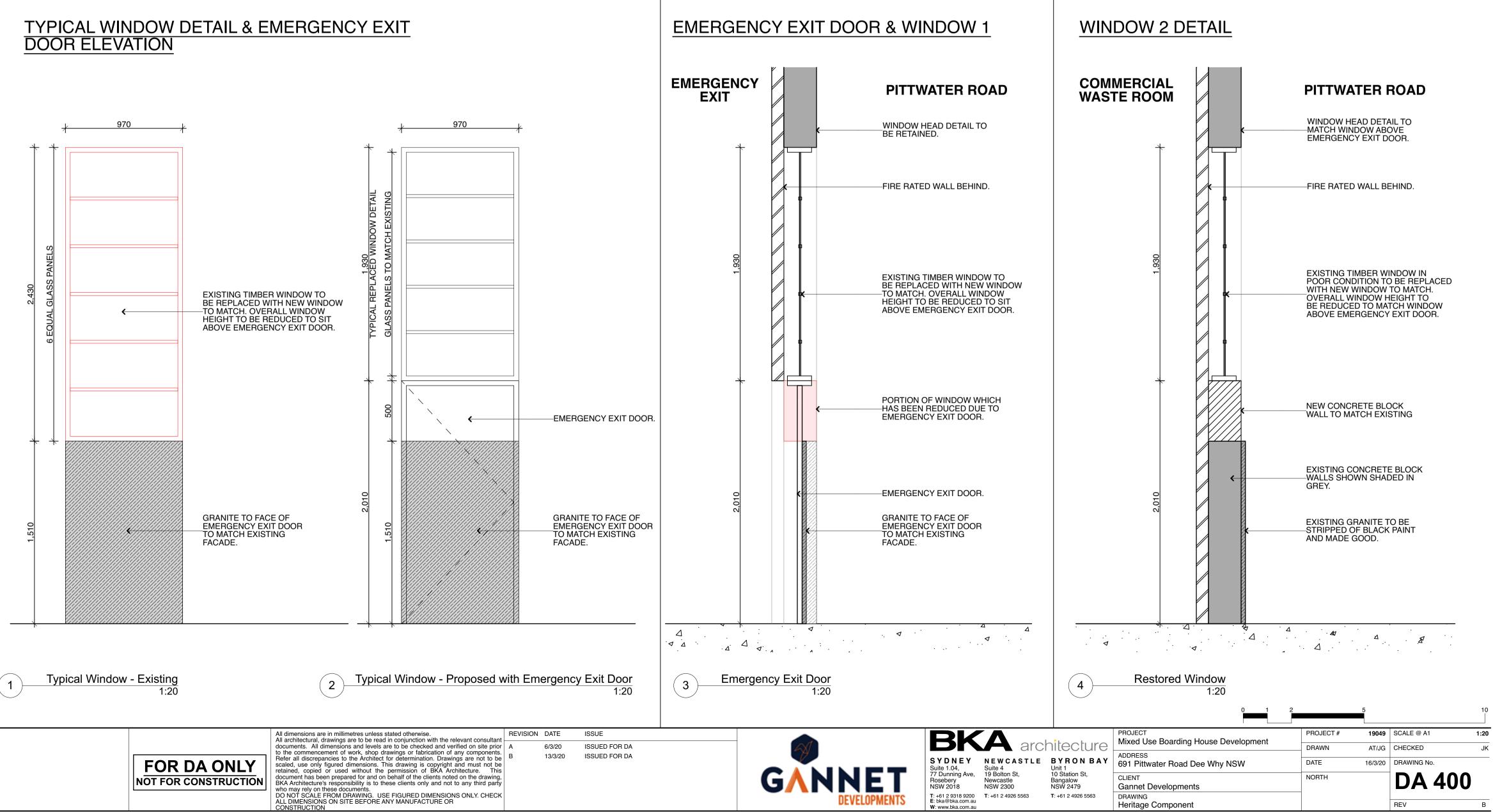
691 Pittwater Road as the Commonwealth Bank in the 1940's. (Source: Warringah Image Library, http://www.photosau.com.au/warringah/scripts/home.asp).

The proposal includes the following items:

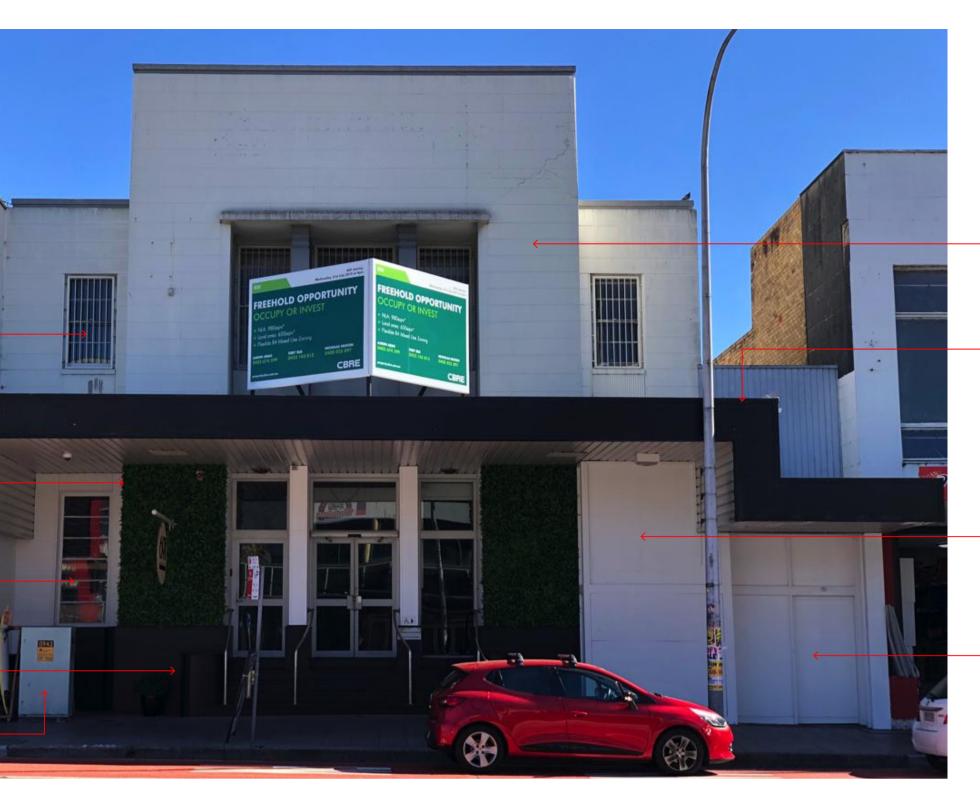
- ATM service walls and partitions to be removed - Black paint to be stripped from granite plinth
- Granite plinth to be restored to its original intent
- Remove existing metal street awning

- Existing bars off upper level windows to be removed

As recommended by Council's Heritage Consultant in the Prelodgement Advice Document, it is preferred "that there be no awning placed on the building due to it interrupting the strong vertical lines as indicated through the aligned columns and windows". Also, "Heritage could consider a small awning above the pedestrian entryway on the northern side". As a result, a glass awning has been proposed to cover the accessible entry to the building on the northern side with minimal impact on the existing heritage facade.



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HERITAGE FACADE TO BE RETAINED AND RESTORED WHERE NECESSARY.

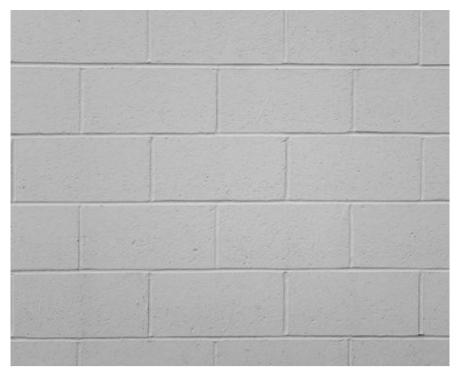
EXISTING AWNING TO BE REPLACED -WITH LIGHTWEIGHT GLASS AWNING OVER ACCESSIBLE ENTRY ONLY.

EXISTING ATM FACILITIES TO BE REMOVED FOR HERITAGE WINDOW BEHIND TO BE SHOWN. (WINDOW 2)

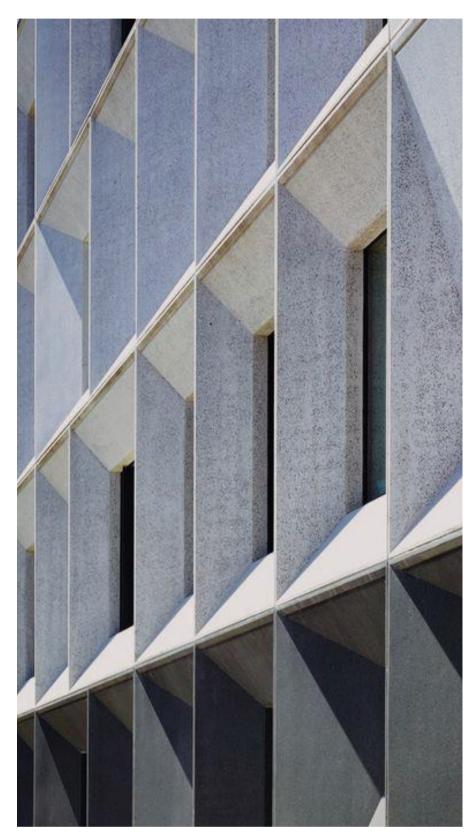
EXISTING ACCESSIBLE ENTRY TO BE REMOVED AND REPLACED WITH GLASS DOORS AND A COMPLIANT, ACCESSIBLE ENTRY RAMP. GLAZED ENTRY TO BE RECESSED FROM BOUNDARY, FLUSH WITH HERITAGE FACADE.



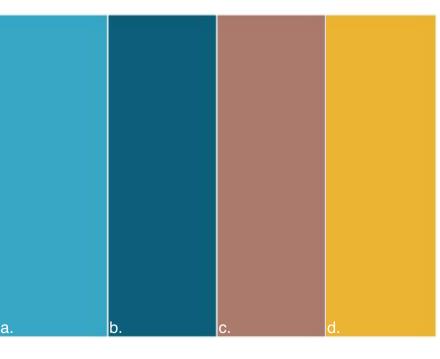
Window 2: Existing heritage window in poor condition. Currently covered by ATM services on the outside. View shown from inside existing building.



1. Existing Concrete Block Wall Colour: White



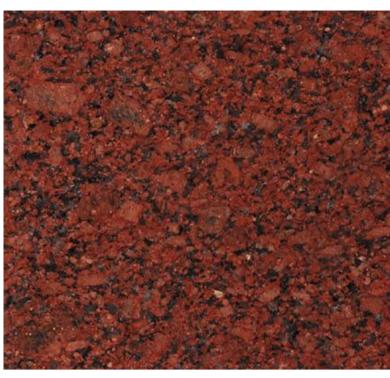
5. Precast Concrete Panels Colour: White and grey with accents of colour



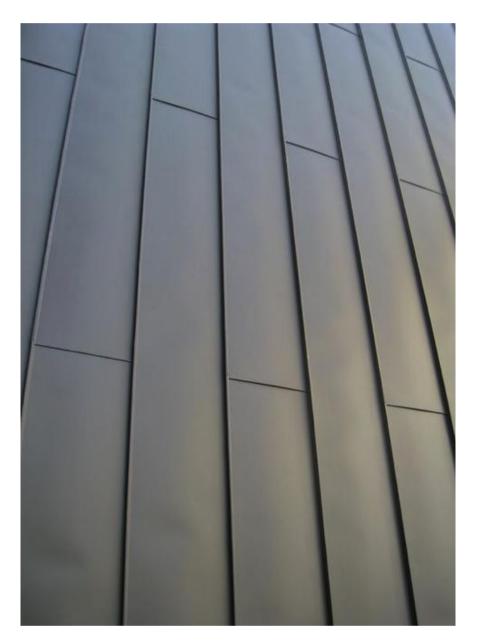
10. Accent Paint Colours in Concrete

a. Dulux Satorini (S33H3)
b. Dulux Copacabana (S33H7)
c. Dulux Rosetta (S07D5)
d. Dulux Buzz (S15H7)

FOR DA PURPOSES



2. Existing Granite Cladding Colour: Red Granite



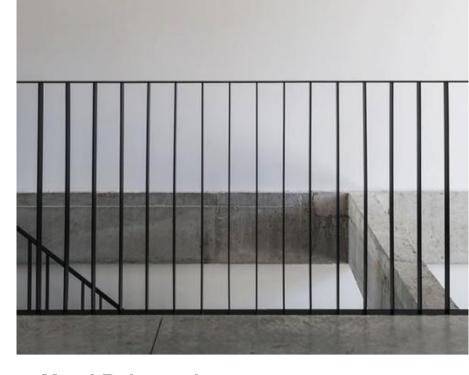
6. Standing Seam Cladding Colour: Mid grey







3. Glass Canopy Awning Colour: Clear



4. Metal Balustrade Colour: Black



7. Steel Window Shades Colour: Monument or similar



8. Aluminium Window and Door Frames Colour: Black

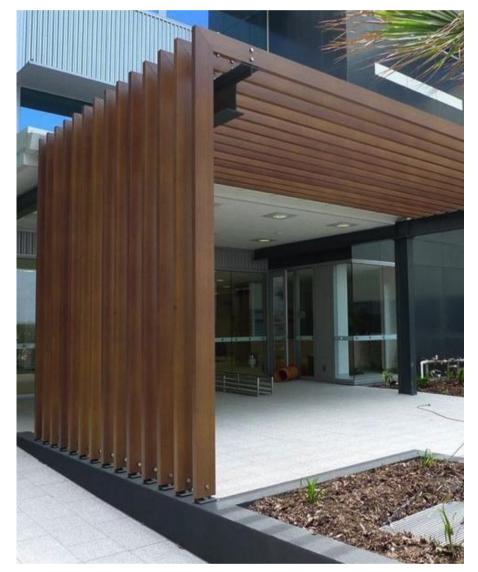


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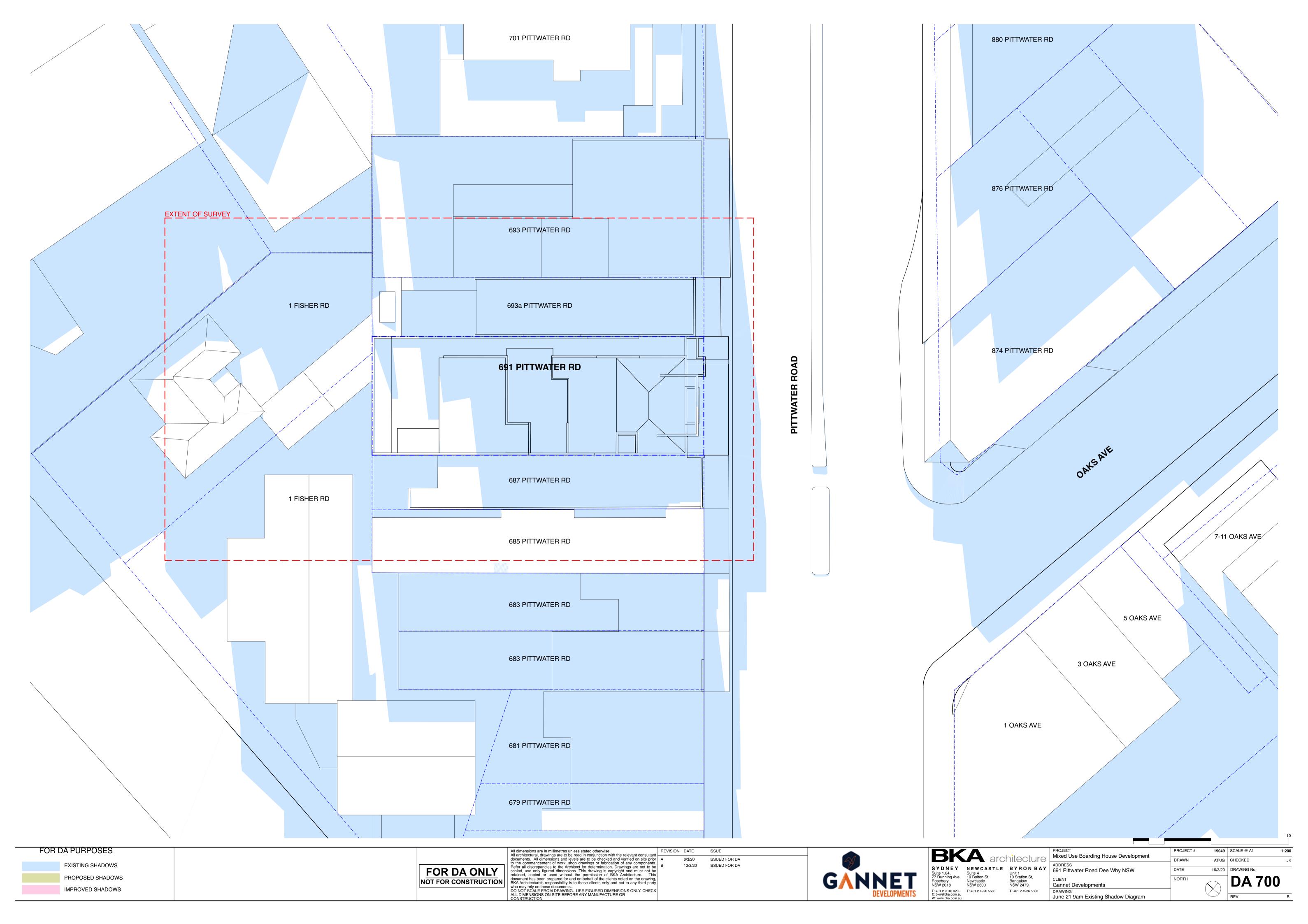
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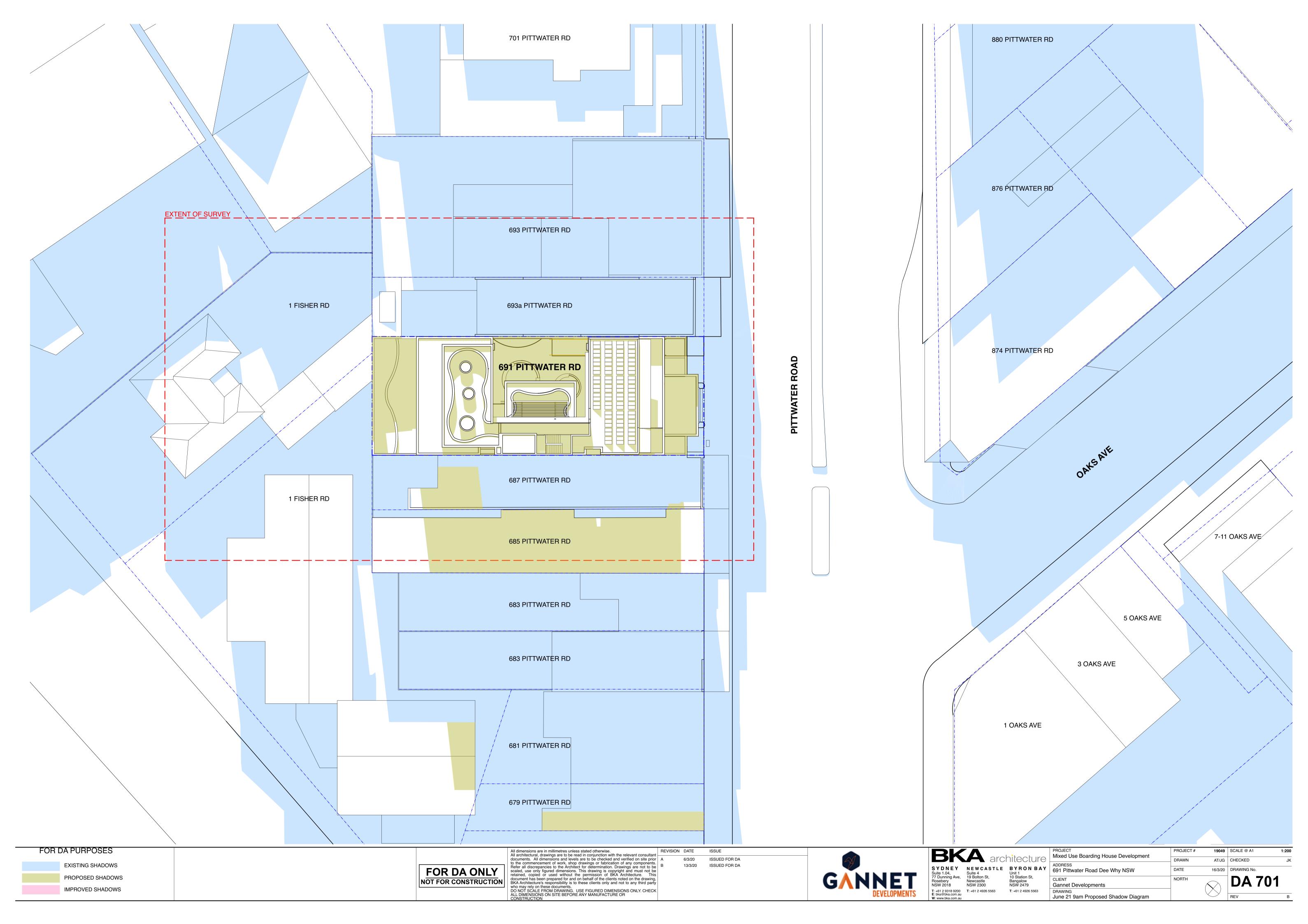


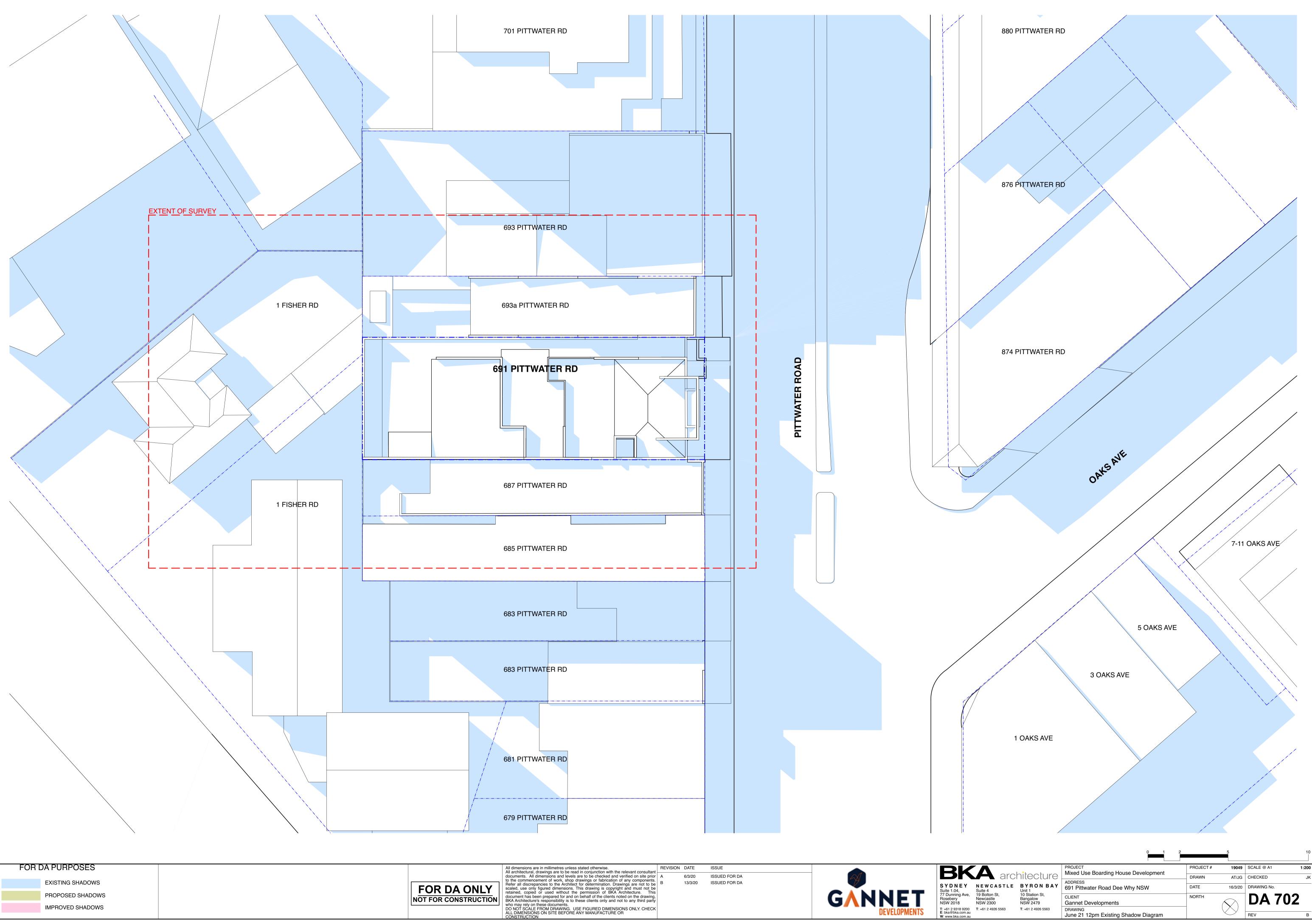


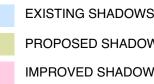
9. Innowood Timber Looking Lift Lobby Screening

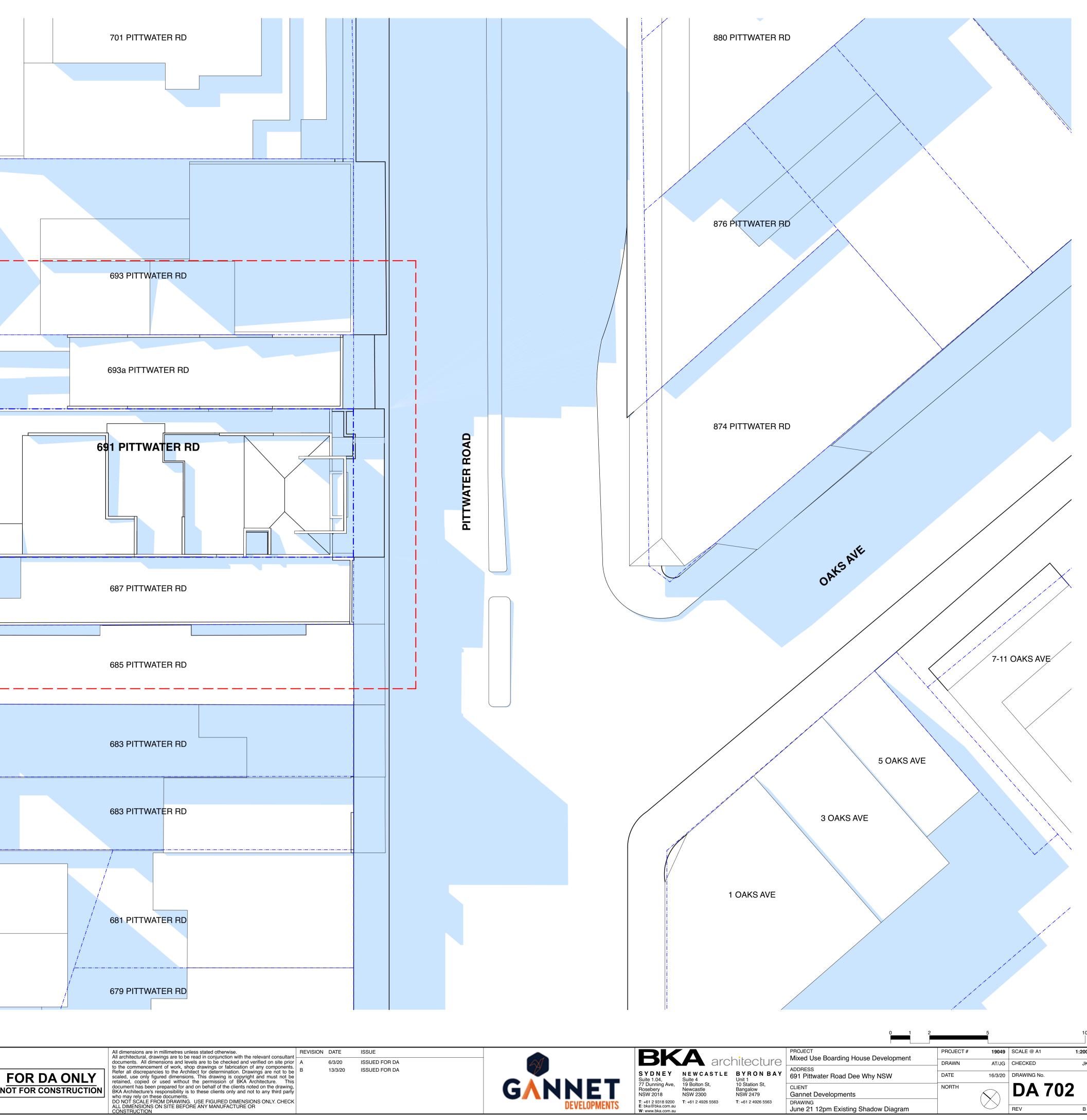
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26 5563	T : +61 2 4926 5563	DRAWING Schedule of External Finishes					REV	В	

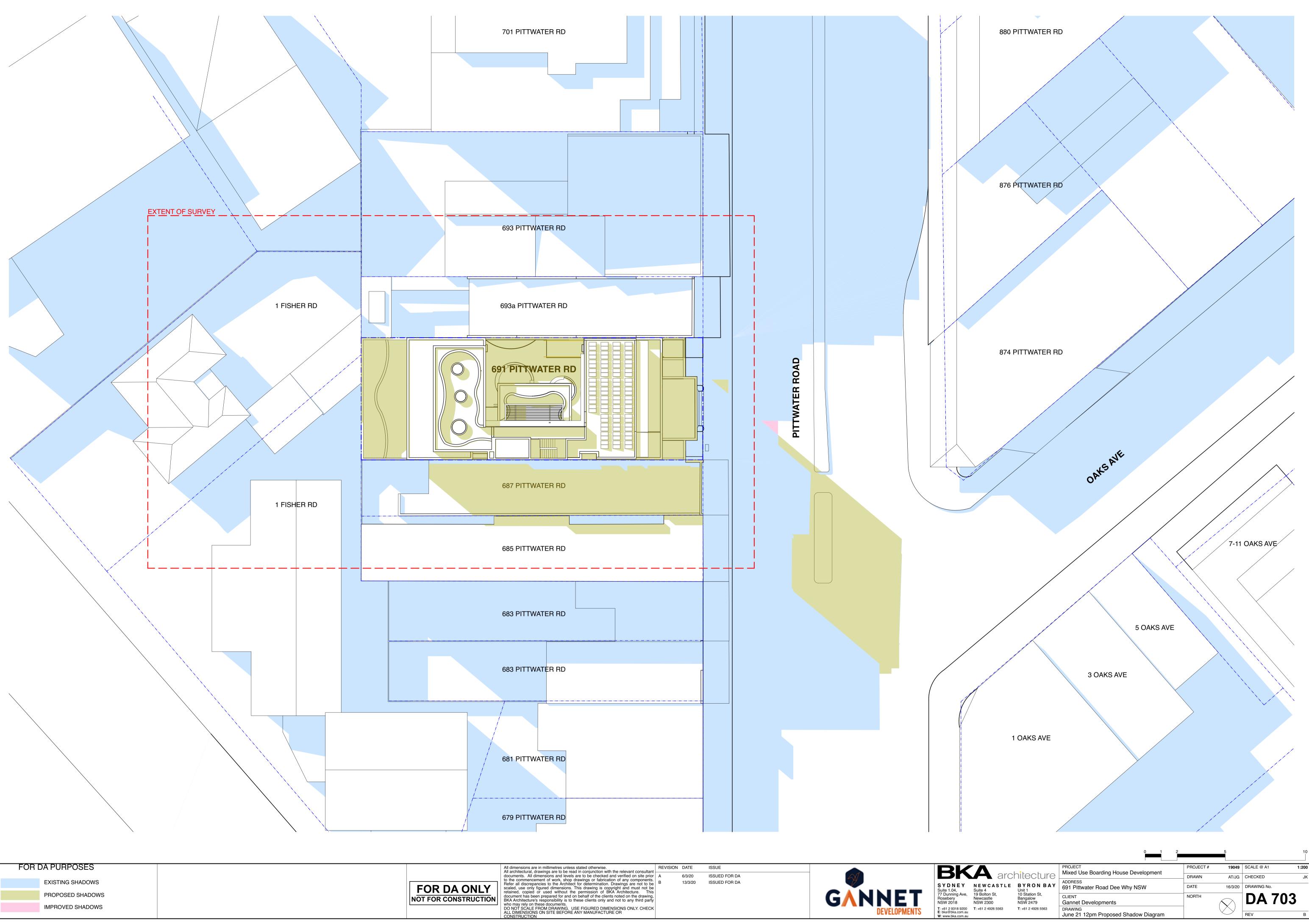


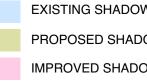


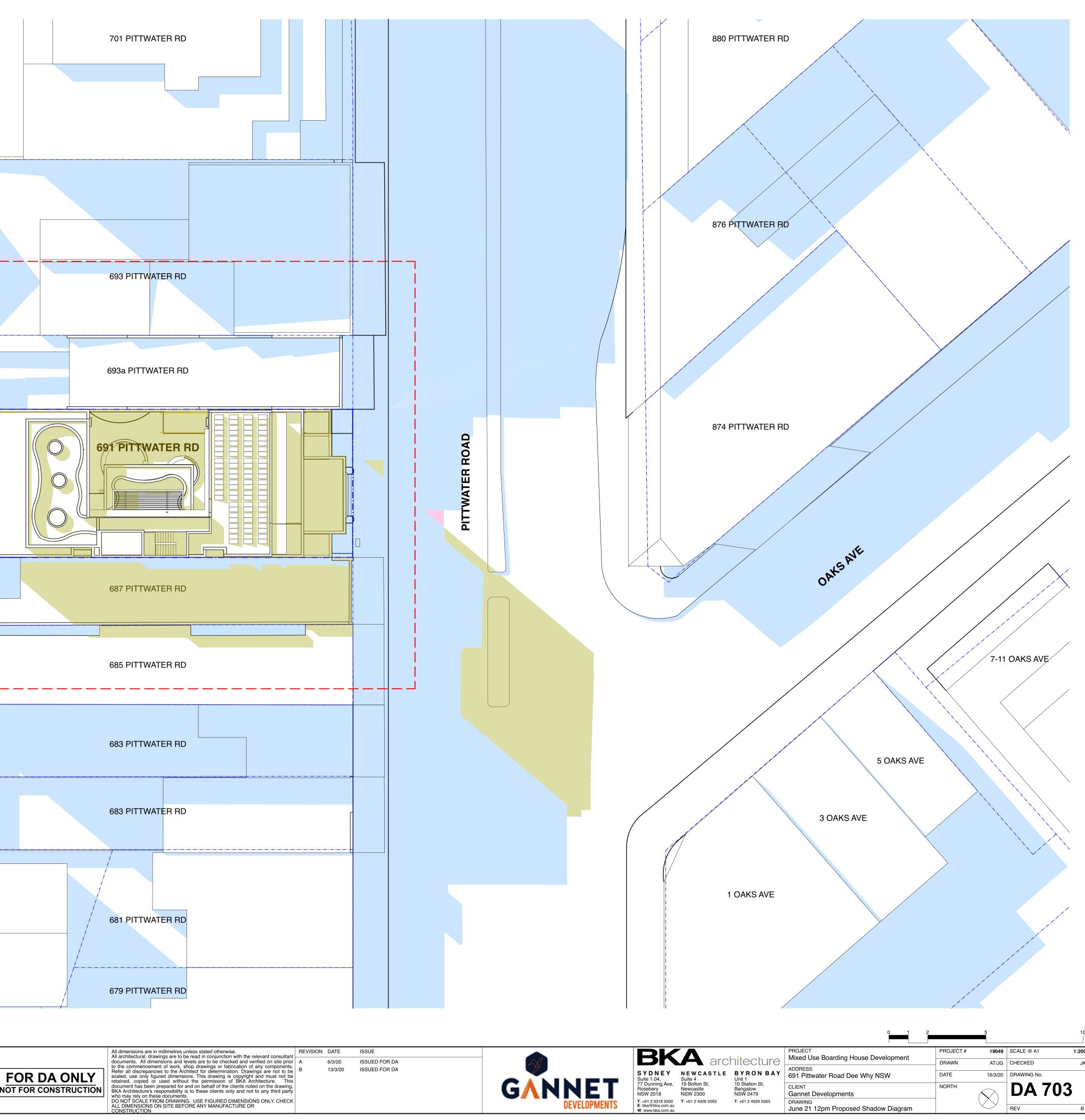


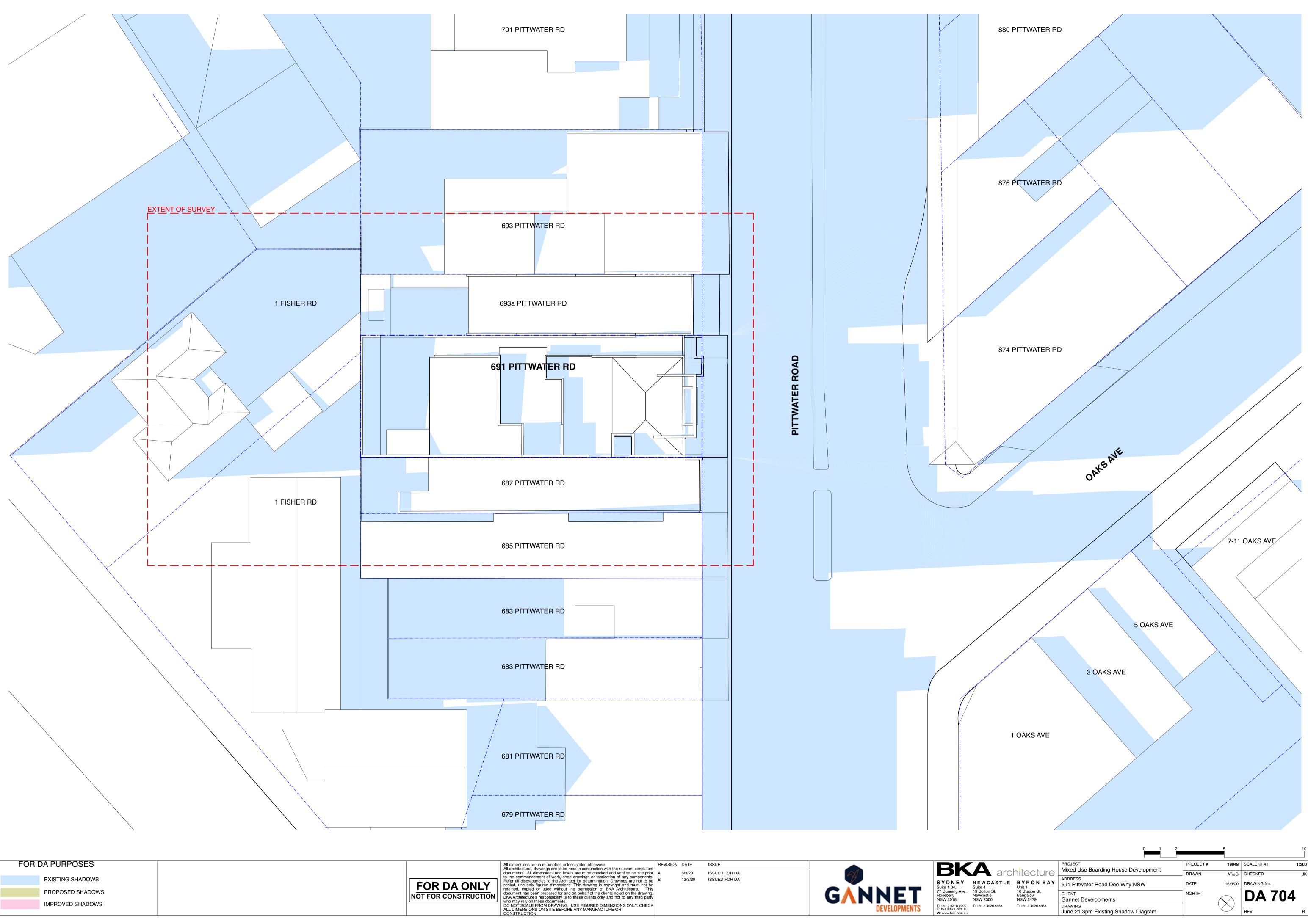


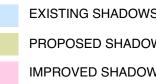


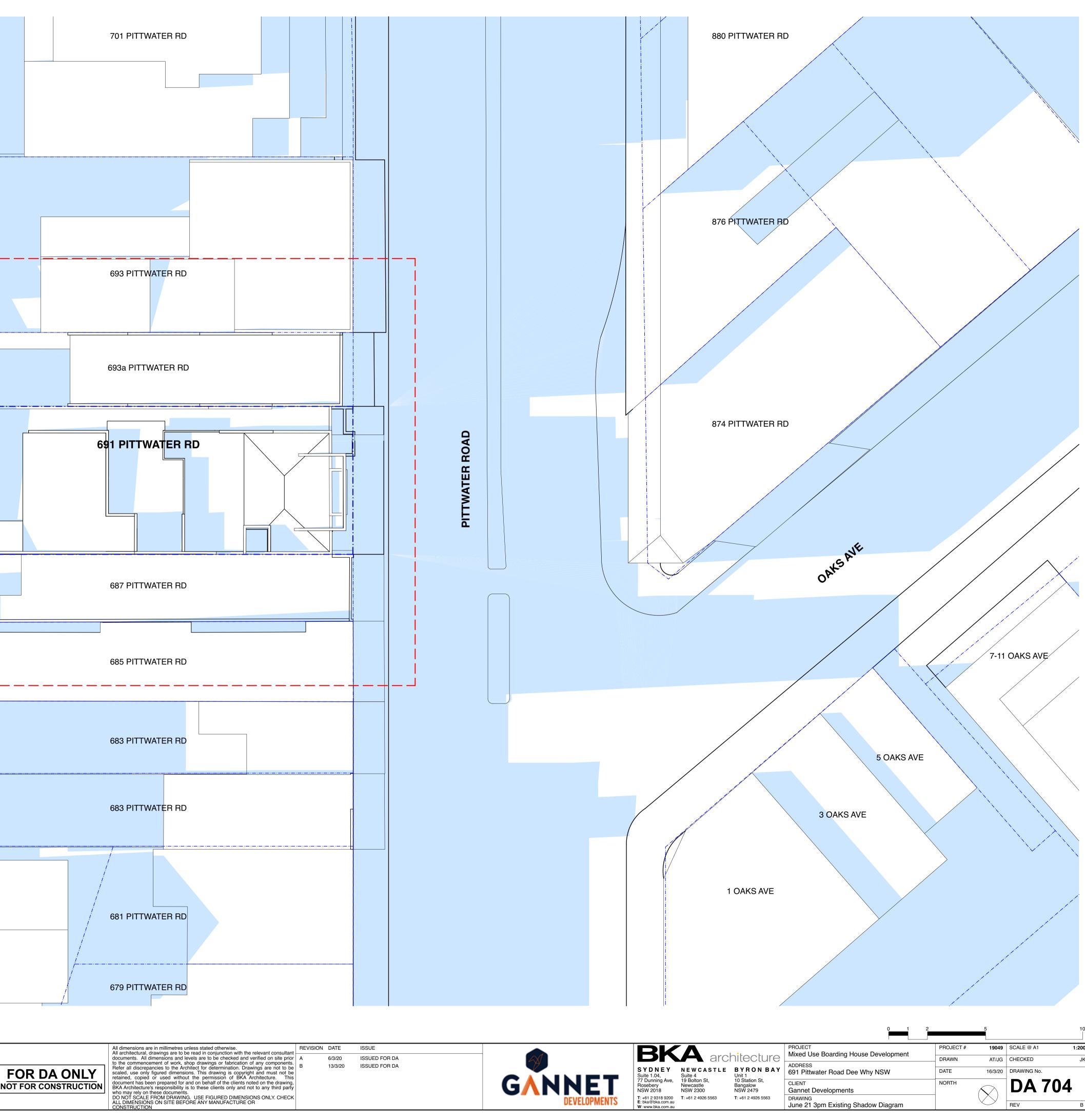


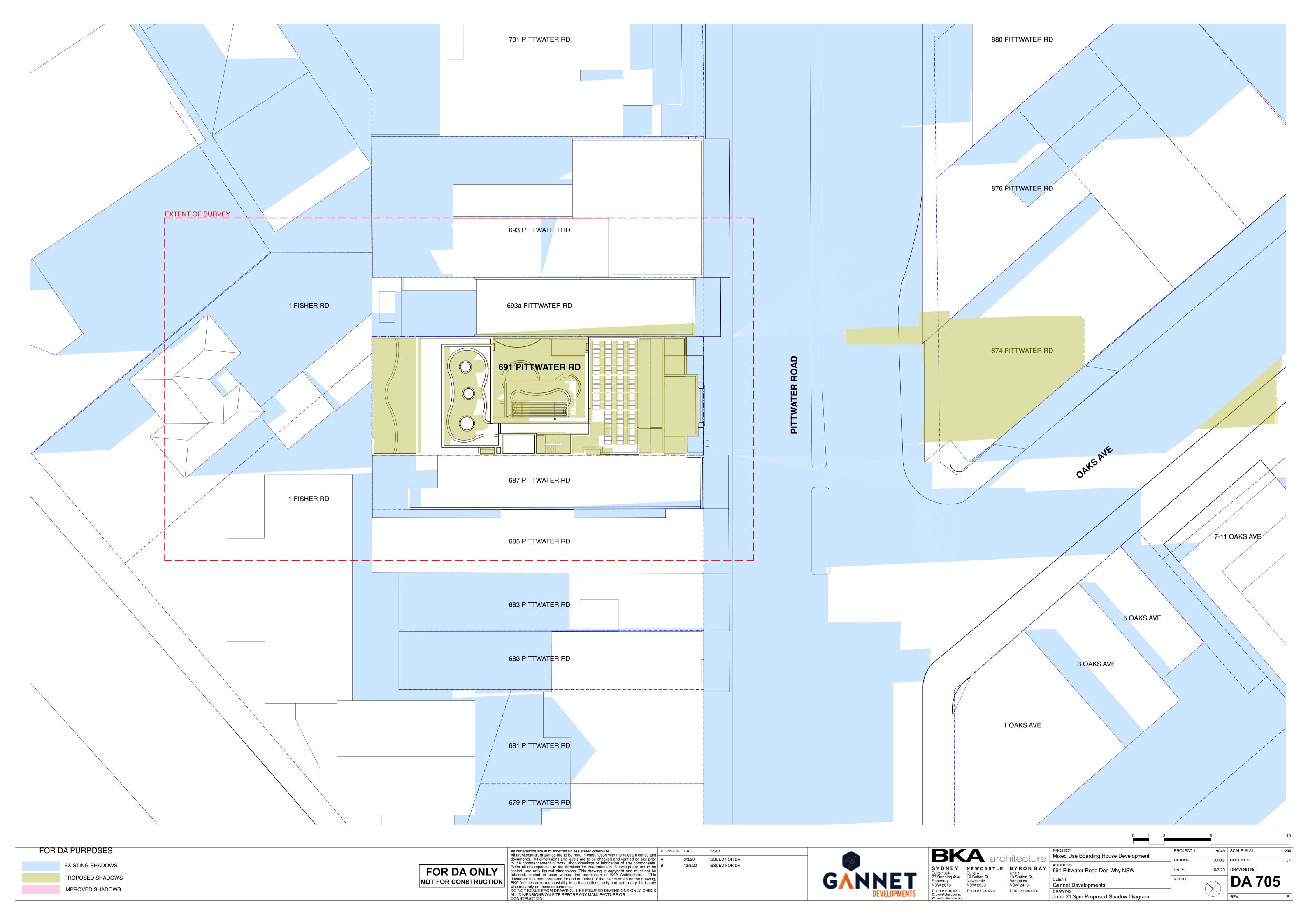


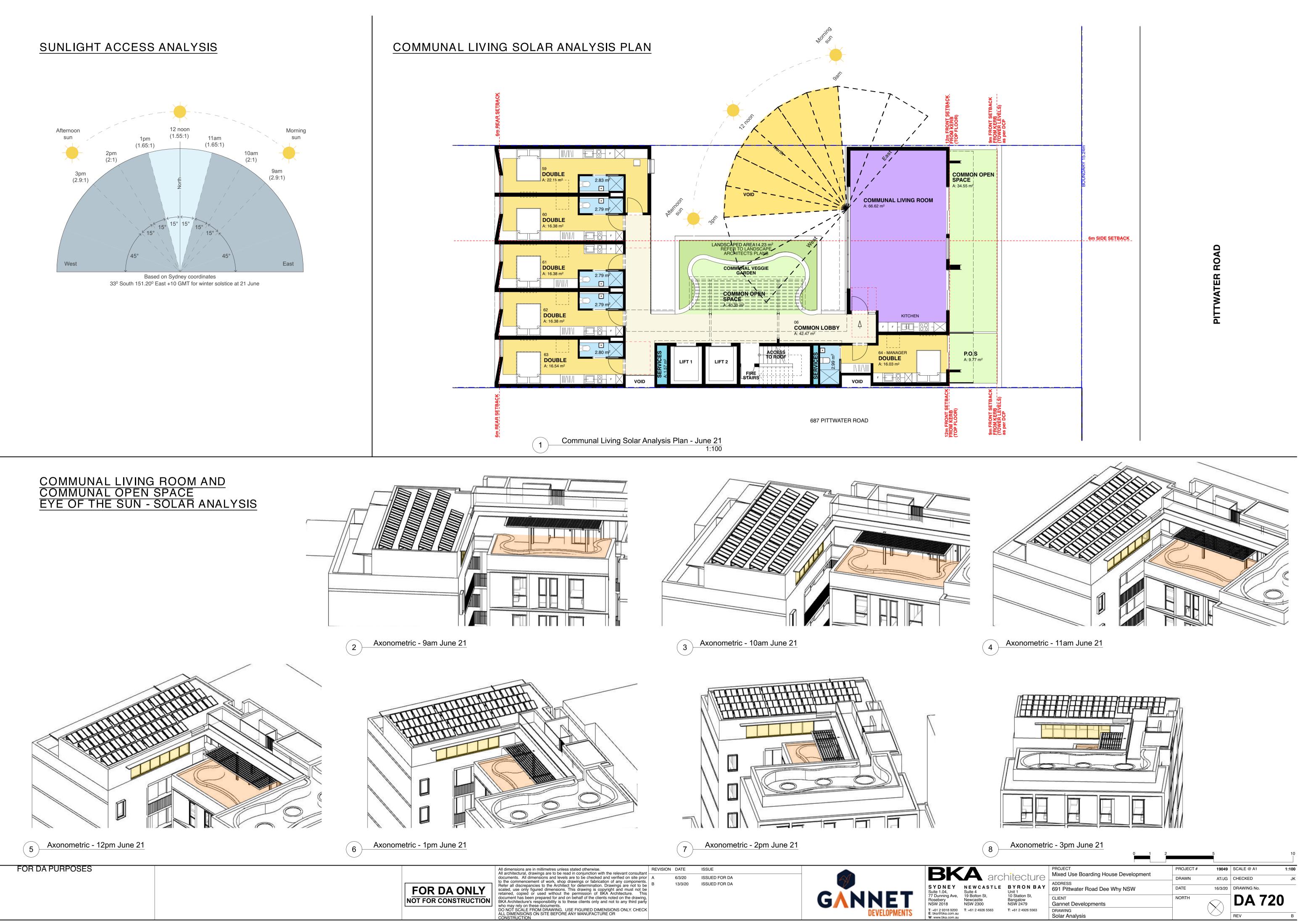




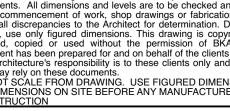




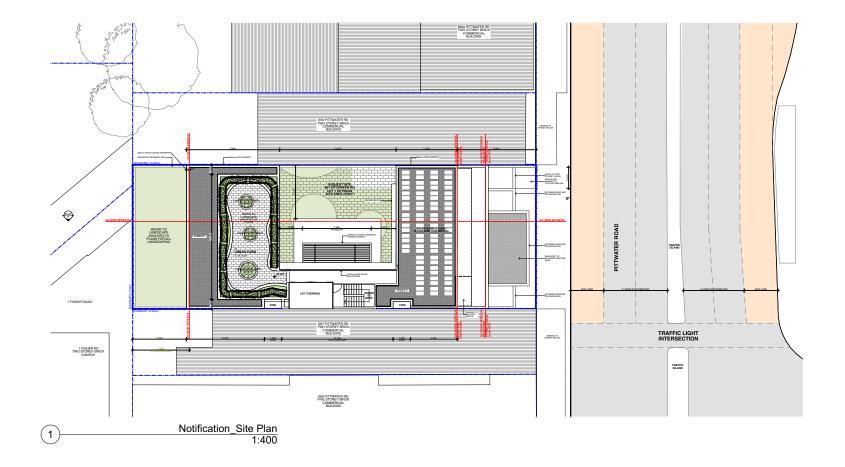












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		documents. All dimensions and levels are to be checked and verified on site prior to the commencement of work, shop drawings or fabrication of any components. Refer of internenymes to the Arithmet for interneniation. Drawing are not to be	A 6/3/20 B 13/3/20	ISSUED FOR DA ISSUED FOR DA	-24				itecture	ANDRESS	DRAWN	ATUS	CHECKED	ЈК
	FOR DA ONLY	scaled, use only figured dimensions. This drawing is copyright and must not be retained, copied or used without the permission of BKA Architecture. This					SYDNEY Suite 1.04, 77 Duration Ave	NEWCASTLE E Suite 4	Anit 1 0 Station St	691 Pittwater Road Dee Why NSW	DATE	16/3/20	DRAWING No.	
	NOT FOR CONSTRUCTION	document has been prepared for and on behall of the clients noted on the drawing, BKA Architecture's responsibility is to these clients only and not to any third party who may rely on these documents.			GA	NNEI	Rosebery NSW 2018	NSW 2300 M	tangalow ISW 2479	Gannet Developments	NORTH	\sim	DA 8	300
		DO NOT SCALE FROM DRAWING. USE FIGURED DIMENSIONS ONLY, CHECK ALL DIMENSIONS ON SITE BEFORE ANY MANUFACTURE OR CONSTRUCTION					T: +61 2 9318 9200 E: bks/#bka.com.au W: www.bka.com.au	T: +61 2 4995 5563 T	+61 2 4926 5563	DRAWING Notification Plan 01		S.	REV	в



693 PRD Apartments 691-693 Pittwater Road Dee Why NSW

Preliminary Sketch Plan 02 June 2017







1. Site Plan





pd160205 - 691-693 Pittwater Road

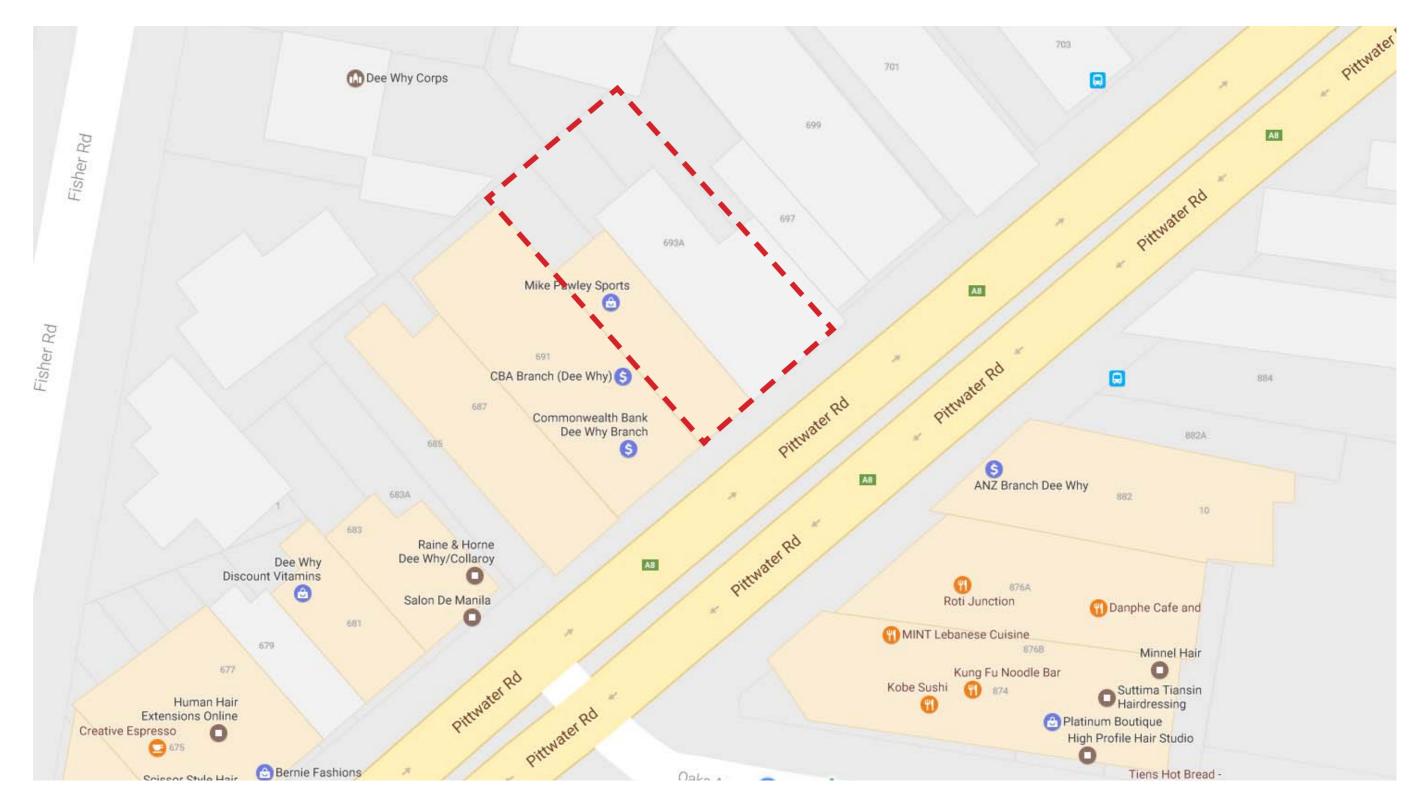






Map data ©2017 Google 10

Aerial Site Plan









Site Plan

2. Floor Plans





pd160205 - 691-693 Pittwater Road

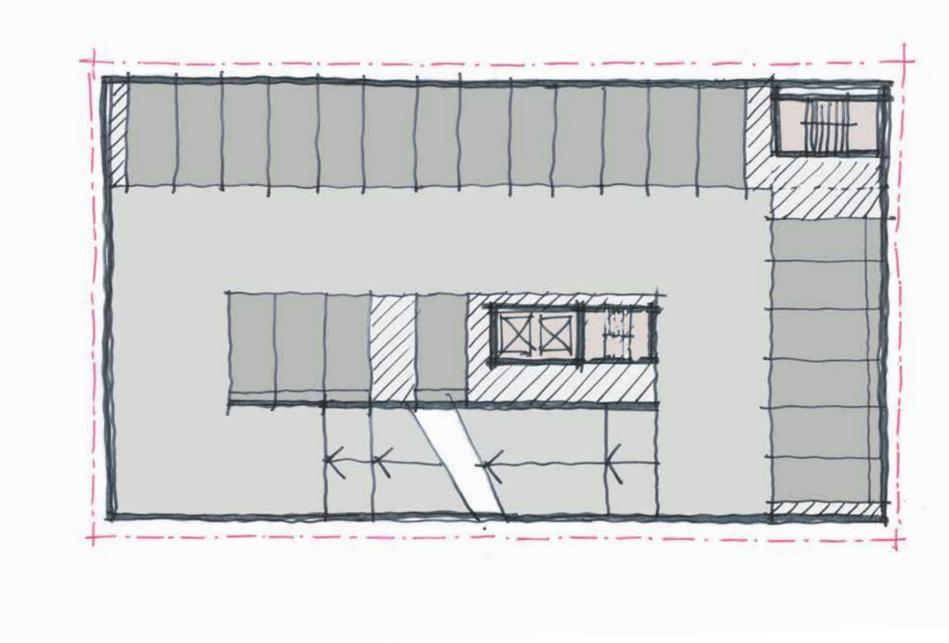






Basement 2 (RL -6,000)

pd160205 - 691-693 Pittwater Road





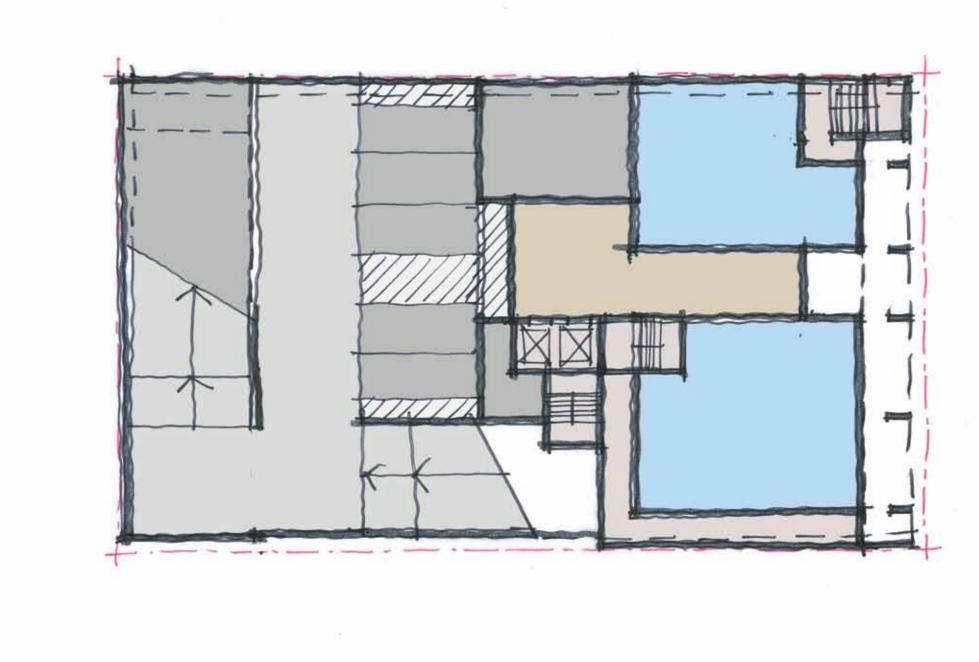
GANNET





Basement 1 (RL -3,000)

pd160205 - 691-693 Pittwater Road









Ground Level (RL 0)

pd160205 - 691-693 Pittwater Road

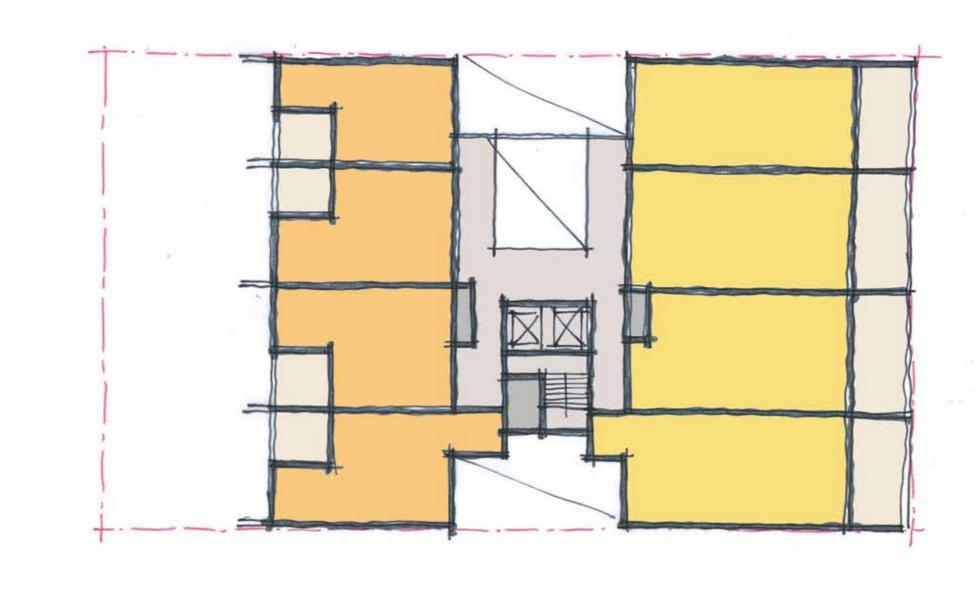






Level 1 (RL 4,000)

pd160205 - 691-693 Pittwater Road

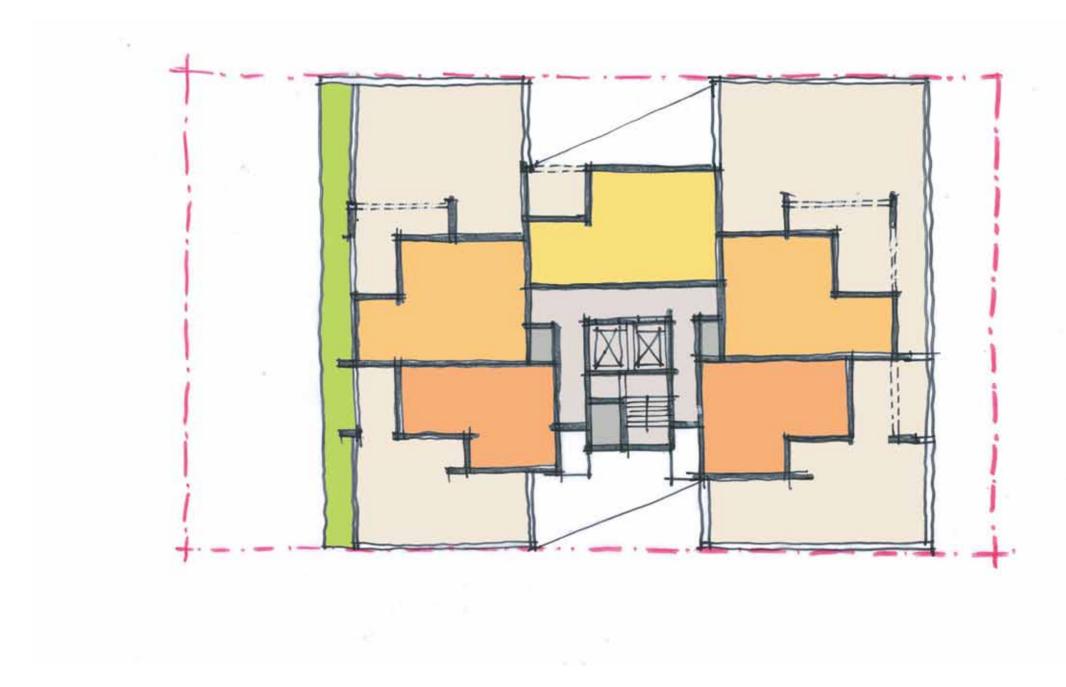






Level 2 (RL 7,100)

pd160205 - 691-693 Pittwater Road





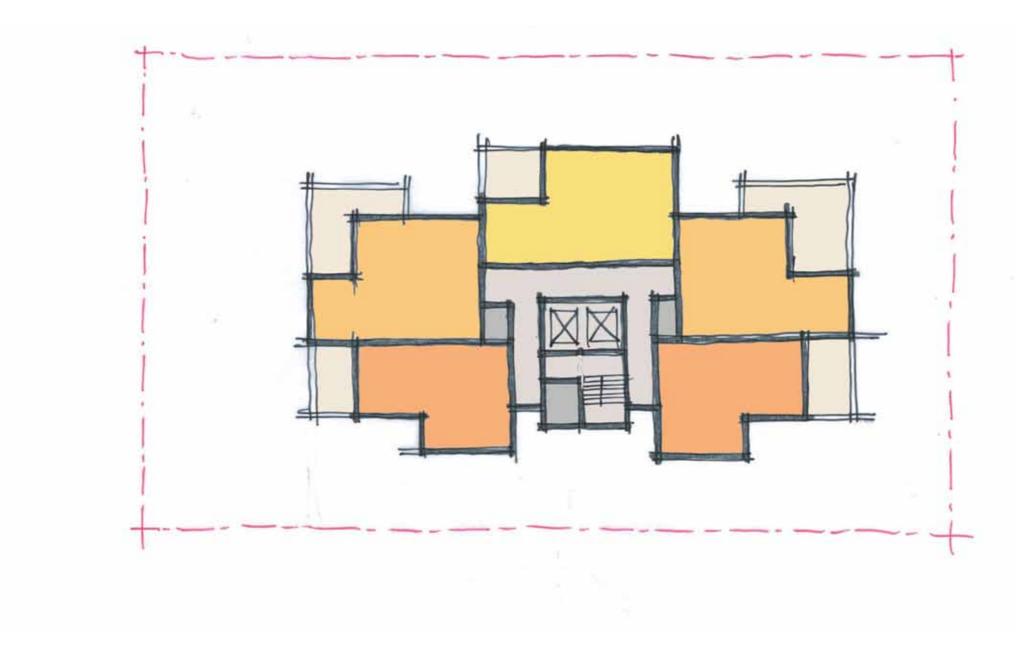
GANNET



Level 3 (RL 10,200)

11

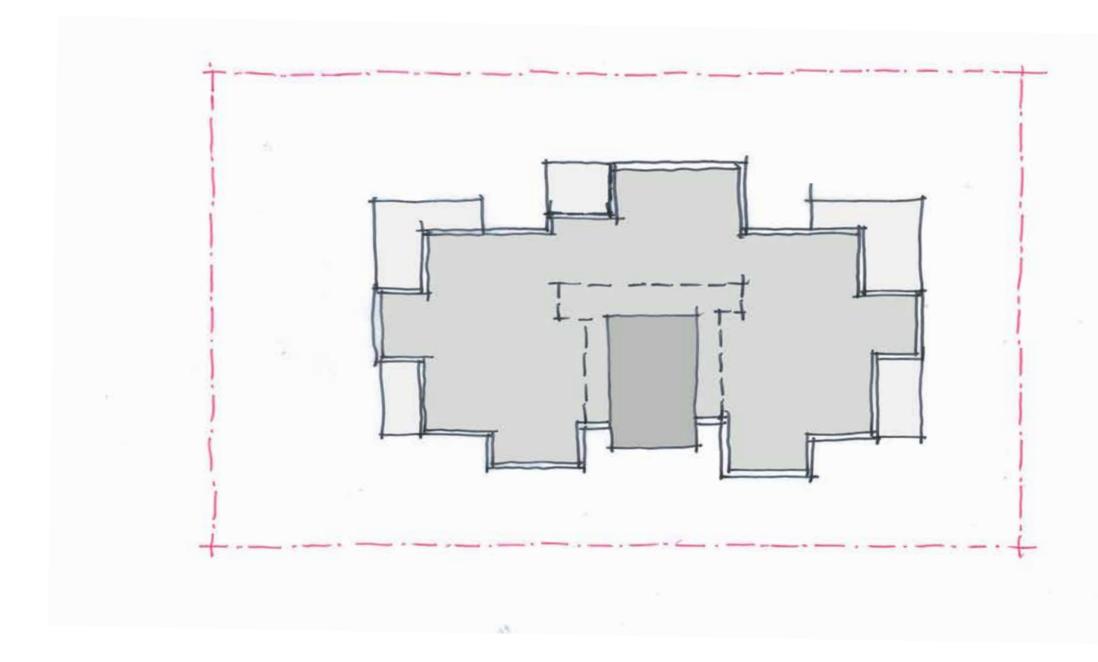
pd160205 - 691-693 Pittwater Road







Level 4 (RL - 13,300) Level 5 (RL - 16,400) Level 6 (RL - 19,500) Level 7 (RL - 22,600)







Roof Level (RL - 23,700) Lift O/Run at RL 25,800

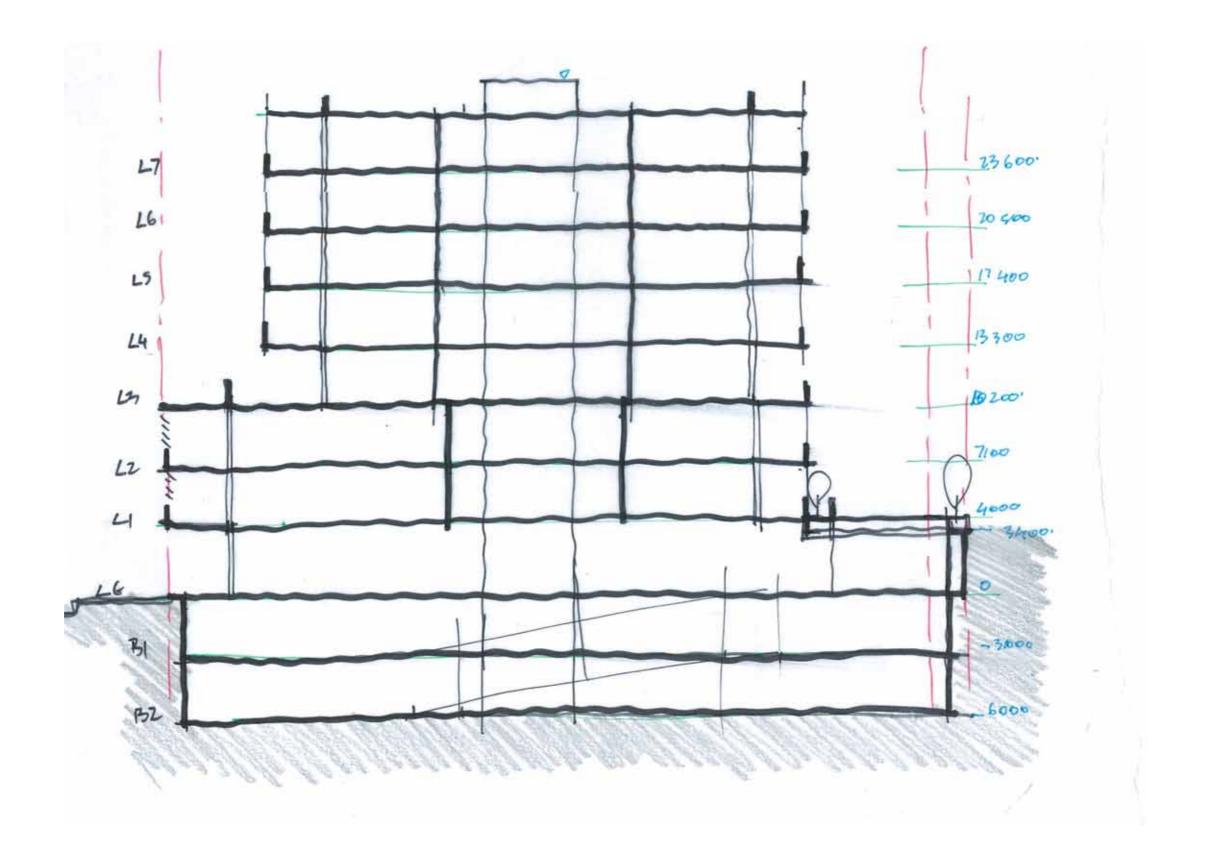
pd160205 - 691-693 Pittwater Road

3. Building Sections





pd160205 - 691-693 Pittwater Road

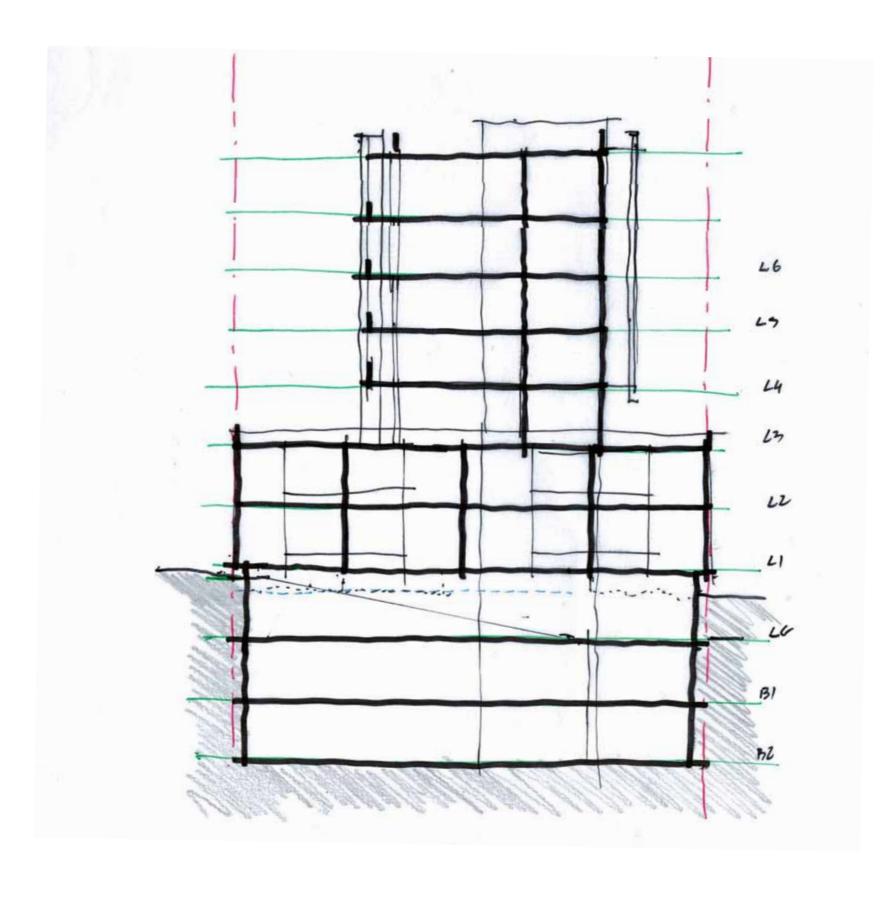






Section 1 (Perpendicular to Pittwater Road)

pd160205 - 691-693 Pittwater Road







Section 2 (Parallel to Pittwater road)

pd160205 - 691-693 Pittwater Road

4. Development Summary





pd160205 - 691-693 Pittwater Road

LEVEL	NOTIONAL RL	CARS	COMMERCIAL & RETAIL	UNITS	STUDIO	1BED	1BED+S	2BED+S	
BASEMENT 2	-6000	31							
BASEMENT 1	-3000	24							
GROUND LEVEL	0	5	179						
LEVEL 1	4000		8		4	4			
LEVEL 2	7100			8		4	4		
LEVEL 3	10200			5	2	3			
LEVEL 4	13300			5	2	3			
LEVEL 5	16400			5	2	3			
LEVEL 6	19500			5	2	3			
LEVEL 7	22600			5	2	3			
ROOF LEVEL	25700								
		60	179	41	10	23	8	0	
					24%	56%	20%	0%	

NSA (APPROX)	GFA (Approx)	EFFICEINCY
179	276	65%
472	613	77%
472	613	77%
241	315	77%
241	315	77%
241	315	77%
241	315	77%
241	315	77%
2328	3077	76%

179						1/9	276	
	8		4	4		472	613	
	8		4	4		472	613	
	5	2	3			241	315	
	5	2	3			241	315	
	5	2	3			241	315	
	5	2	3			241	315	
	5	2	3			241	315	
179	41	10	23	8	0	2328	3077	

total parking	61	41	9	11
-				

BUILDING LEVEL	UNIT #	UNIT TYPE	NSA (APPROX SQM)	RESIDENT PARKING REQUIRED	VISITOR PARKING REQUIRED (1 PER 5)	RETAIL (1 PER 16.4) PARKING REQUIRED
GROUND	G01	RETAIL	82			5
GROUND	G02	RETAIL	97			6
LEVEL 1	101	1BED+S	63	1	0.2	
LEVEL 1	102	1BED+S	63	1	0.2	
LEVEL 1	103	1BED+S	63	1	0.2	
LEVEL 1	104	1BED+S	63	1	0.2	
LEVEL 1	105	1BED	55	1	0.2	
LEVEL 1	106	1BED	55	1	0.2	
LEVEL 1	107	1BED	55	1	0.2	
LEVEL 1	108	1BED	55	1	0.2	
LEVEL 1	C01	COS	61		0.2	
LEVEL 1	C02	COS	33		0.2	
LEVEL 2	201	1BED+S	63	1	0.2	
LEVEL 2	202	1BED+S	63	1	0.2	
LEVEL 2	203	1BED+S	63	1	0.2	
LEVEL 2	204	1BED+S	63	1	0.2	
LEVEL 2	205	1BED	55	1	0.2	
LEVEL 2	206	1BED	55	1	0.2	
LEVEL 2	207	1BED	55	1	0.2	
LEVEL 2	208	1BED	55	1	0.2	
LEVEL 3	301	STUDIO	41	1	0.2	
LEVEL 3	302	1BED	53	1	0.2	
LEVEL 3	303	1BED	53	1	0.2	
LEVEL 3	304	1BED	53	1	0.2	
LEVEL 3	305	STUDIO	41	1	0.2	
LEVEL 3	401	STUDIO	41	1	0.2	
LEVEL 4	401	18ED	53	1	0.2	
LEVEL 4	402	1BED	53	1	0.2	
LEVEL 4	403	1BED	53	1	0.2	
LEVEL 4	404	STUDIO	41	1	0.2	
LEVEL 4		STUDIO			0.2	
LEVEL 5	501 502	1BED	41 53	1	0.2	
LEVEL 5	502	1BED 1BED	53	1	0.2	
-				-	-	
LEVEL 5	504 505	1BED STUDIO	53 41	1	0.2	
-				-	-	
LEVEL 6	601	STUDIO	41	1	0.2	
LEVEL 6	602	1BED	53	1	0.2	
LEVEL 6	603	1BED	53	1	0.2	
LEVEL 6	604	1BED	53	1	0.2	
LEVEL 6	605	STUDIO	41	1	0.2	
LEVEL 7	701	STUDIO	41	1	0.2	
LEVEL 7	702	1BED	53	1	0.2	
LEVEL 7	703	1BED	53	1	0.2	
LEVEL 7	704	1BED	53	1	0.2	
LEVEL 7	705	STUDIO	41	1	0.2	













level 1





level 7

Development Summary

5. Perspective Images (Building)





pd160205 - 691-693 Pittwater Road













pd160205 - 691-693 Pittwater Road















pd160205 - 691-693 Pittwater Road









LEGEND & SCHEDULE

1. ALL FINAL PLANT QUANTITIES INDICATED ON PLANS SHALL BE CHECKED AND VERIFIED BY SUCCESSFUL LANDSCAPE CONTRACTOR. 2. ANY PLANT SUBSTITUTES REQUIRED DUE TO UNAVAILABILITY SHALL BE RECOMMENDED BY THE LANDSCAPE CONTRACTOR TO BEST MATCH SUBSTITUTED PLANTS AND APPROVED PRIOR TO PURCHASING BY THE LANDSCAPE ARCHITECT.

3. WORKS CERTIFIED FOR FINAL OCCUPANCY CERTIFICATE ARE TO MATCH APPROVED LANDSCAPE PLANS. 4. LANDSCAPE CONTRACTOR SHALL LOCATE AND AVOID SITE STORM WATER &

DRAINAGE SERVICES. LOCATE TREES A MINIMUM 1.25M FROM PITS 5. ALL PLANTING AROUND EXISTING TREES SHALL BE ADJUSTED TO AVOID DAMAGE AND CLASHING WITH SURFACE ROOTS.

6. THE NATURE STRIP (STREET FRONTAGE) FOR THE SITE IS PUBLIC LAND, AND ONLY AUTHORIZED WORKS MAY OCCUR HERE. EXISTING CONDITIONS SUCH AS STREET TREES, COUNCIL PLANTING ETC SHALL BE RETAINED AND PROTECTED DURING CONSTRUCTION, UNLESS SPECIFIC APPROVAL HAS BEEN GRANTED FOR NEW WORK IN THIS AREA.

TREES



Common Name: Japanese maple (Exotic) Pot size: 75Lt Mature H x S: 3m x 3m Qty Required: 2 Botanical Name: Cupaniopsis anacardioides Common Name: Tuckeroo (Native)

75Lt

Pot size: Mature H x S: 8-10m x 3-5m Otv Required:

3 SHRUBS AND HEDGES

Botanical Name: Syzygium 'Cascade' Common Name: Cascade Lilly Pilly (Native) 300mm Pot size: Mature H x S: 2.5m x 1.8m Qty Required: 8

ACCENT PLANTS

Botanical Name: Cordvline australis Common Name: Cabbage tree (Native) Pot size: 45L Mature H x S: 1.5-2.5m x 1-2.5m Qtv Required: 1

Botanical Name: Strelitzia nicolai Common Name: Giant Bird of Paradise (Exotic) Pot size: 300mm Mature H x S: 6m x 4.5m Qty Required: 2

Botanical Name: Zamia furfuracea Common Name: Cardboard Palm (Exotic) Pot size: 300mm Mature H x S: 1m x 1.25m Qty Required:

Botanical Name: Alcantarea imperialis 'Rubra' Common Name: Ruby Imperial Bromeliad (Exotic) Pot size: 300mm Mature H x S: 0.8m x 0.9m Qty Required: 4

GRASSES / GROUNDCOVERS

Botanical Name: Trachelospermum Jasminoides Common Name: Star Jasmine (Exotic) Pot size: 140mm Mature H x S: 0.3m x 0.6m Qty Required: 5/m2 (4.7m2 total)

Native Grass Groundcover Mix: Lomandra longifolia 'Tanika' Themeda triandra Dianella revoluta 'Revelation Poa labillardieri 140mm Pot size: Mature H x S: < 8m 4/m2 (22.9m2 total) Qty Required:

Low Groundcover Mix: Hardenbergia 'Meema' Hibertia scandens Myoporum 'Yareena 140mm Pot size: Mature H x S: < .8m Qty Required: 4/m2 (14.3m2 total)

OTHER LANDSCAPE ITEMS



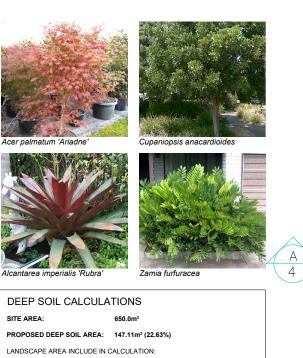


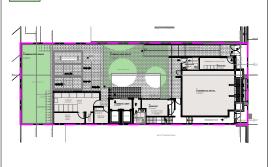
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LANDSCAPE PLAN NOTES

This plan should be read in conjunction with the architectural and hydraulics plans. Work specific to these plans should be prepared in accordance to these plans, including specification and details prior to the installation of landscaping, and should not be altered or compromised during landscape construction. Elements such as drainage swales may be incorporated in garden bed areas (using non-floatable mulch) without compromising the capacity or form.

This plan has been prepared for Development Application approval only, not for construction

This plan has been prepared with reference to Northern Beaches Councils Landscaping Guidelines & requirements. Planting proposed using mainly indigenous, commercially available plant species selected from local planting lists and the BASIX local plant list and from Sydney Waters "Plant Selector"web site one-drip rated native plants (acceptable for Basix planting).

The Design & location of new letter boxes shall be in accordance with Australia Post's "Requirements for Delivery of Mail to Residential Premises" published Feb '97. All noxious weeds listed in Councils weed lists & located on the site shall be continually removed & suppressed. Reinstate all boundary fencing in poor condition with Council approved 1.8m fencing to rear of building line, rake to 1m forward of BL. Pollution, sediment & erosion control devices as specified shall be in place, and maintained for the duration of the construction period. Proposed excavation near existing established trees to be supervised by arborist.

D.A approved landscape plan's are required to be constructed as approved to obtain occupancy certificate. Permeable areas may be indicated to achieve site coverage restrictions & should be constructed as drawn on this plan.



Planting in deep soil to include:

Planting in deep soil to include:

-1 A 'Ariadne'

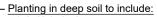
LANDSCAPE PLAN-1F

687 PITTWATER ROAD

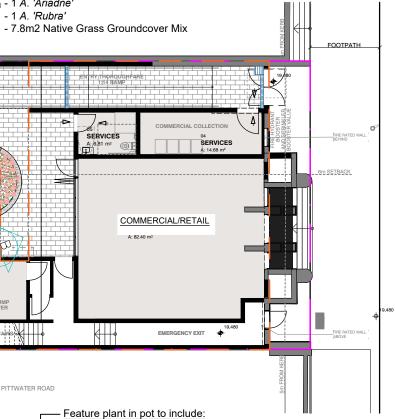
- refer detail	General Notes:	AILA Associate		REV	DATE	NOTATION/AMENDMENT	COUNCIL	A
per seating fixed on retaining wall		allin	www.dialbeforeyoudig.com.au	Α	06.02.20	Preliminary plan prepared for review	Northern Beaches	
er detail	Figured dimensions take preference to scale readings. Verify all dimensions on site. PDFd plans may vary slightly in Scale for that indicated on plans. Report any discrepancies to the Landscape			В	13.02.20	Coordinate with architectural updates		
5. 1	Architect before proceeding with the work.	đ	DIAL1100	С	09.03.20	Coordinate with stormwater plan	CLIENT	<u>Conzep</u>
er detail	Copyright Sulphurcrest Enterprises Pty Ltd Trading as CONZEPT	Australian Institute of	BEFORE YOU DIG				GANNET DEVELOPMENTS	
	C (ABN: 75 623 405 630) This drawing is protected by copyright. All rights are reserved. Unless permitted under the Copyright Act	Landscape Architects						<u>ے</u>
	1968, no part of this drawing may in any form or by any means be reproduced, published, broadcast or transmitted without the prior written permission of the coovright owner.						ARCHITECT	Landscape Archite
ety balustrade	If the Status of this drawing is not signed off For Construction it may be subject to change, alteration or		(\mathbf{N})				BKA ARCHITECTURE	Conzept Suite 101, 506 Mill
nmunal space feature paving- style & color	amendment at the discretion of our office. If so, Conzept is not liable for any loss, damage, harm or injury whether special, consequential, direct or indirect, suffered by you or any other person as a result of your use							Landscape Architects CAMMERAY NSW
e nom. by client	of this drawing for construction purposes. These plans and associated IP remain the property of Sulphurcrest Enterprises (T/A Conzect) until such time	Bar Scale	\smile				STATUS / ISSUE	Phone: 9922 5
	as all agreed payments are made in full. We retain the right to withdraw this information from the assessment process if such payments are not made following the notification period.	0 2	2 4 6 8 10m				DA - ISSUE C	www.conzept.net.au Fax: 8209 4 enguiries@conzept.net.au Mob: 0413 86
lietary item to be nom. by client	process in source payments are not made convering the noninfall/Unipendu.		· · ·]	inquinco@conzept.net.au mob. 0410.00

DEEP SOIL CALCULATIONS SITE AREA:

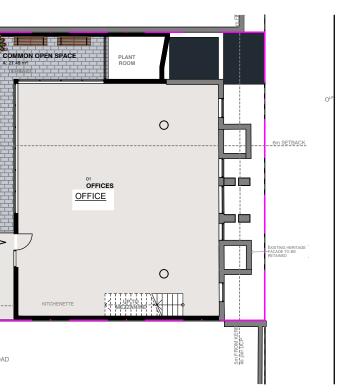
LANDSCAPE AREA INCLUDE IN CALCULATION:

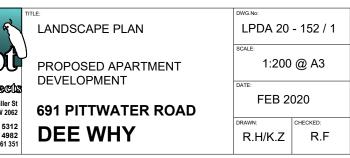


⊳



- 1 A. 'Rubra'





LEGEND & SCHEDULE

NOTES

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SHRUBS AND HEDGES

Botanical Name: Metrosideros 'Fiji Fire' Common Name: NZ Christmas Bush (Exotic) 300mm Pot size: Mature H x S: 2m x 1.8m Qty Required: 17

> Botanical Name: Banksia ericifolia 'Little Eric' Common Name: Heath Banksia (Native) Pot size: 300mm Mature H x S: 1.4m x 1.4m 15 Qty Required:

ACCENT PLANTS

Botanical Name: Cordvline australis Common Name: Cabbage tree (Native) Pot size: 35L Mature H x S: 1.5-2.5m x 1-2.5m Otv Required: Botanical Name: Strelitzia nicolai



Botanical Name: Zamia furfuracea Common Name: Cardboard Palm (Exotic) Pot size 200mm 1m x 1.25m Mature H x S: Qty Required:

Qty Required:

유 방송에서 다

Botanical Name: Alcantarea imperialis 'Rubra' Common Name: Ruby Imperial Bromeliad (Exotic) Pot size: 300mm Mature H x S: 0.8m x 0.9m Qty Required: - 5

300mm

6m x 4.5m

Botanical Name: Alpinia caerulea 'Red Back' **Common Name:** Red Back Native Ginger (Exotic) Pot size: 300mm Mature H x S: 1m x 0.8m

Botanical Name:	Liriope muscari 'Evergreen Giant
Common Name:	Giant Lily Turf (Exotic)
Pot size:	150mm
Mature H x S:	0.7m x 0.65m
Qty Required:	10

4

LANDSCAPE PLAN NOTES

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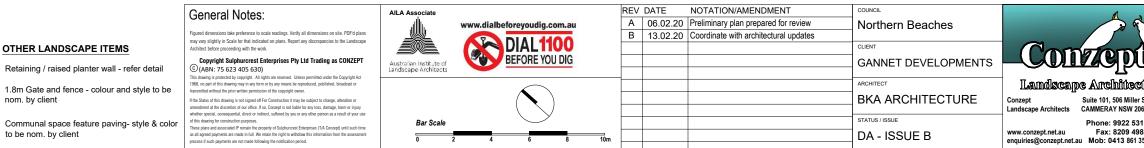


Alpinia caerulea 'Red Back

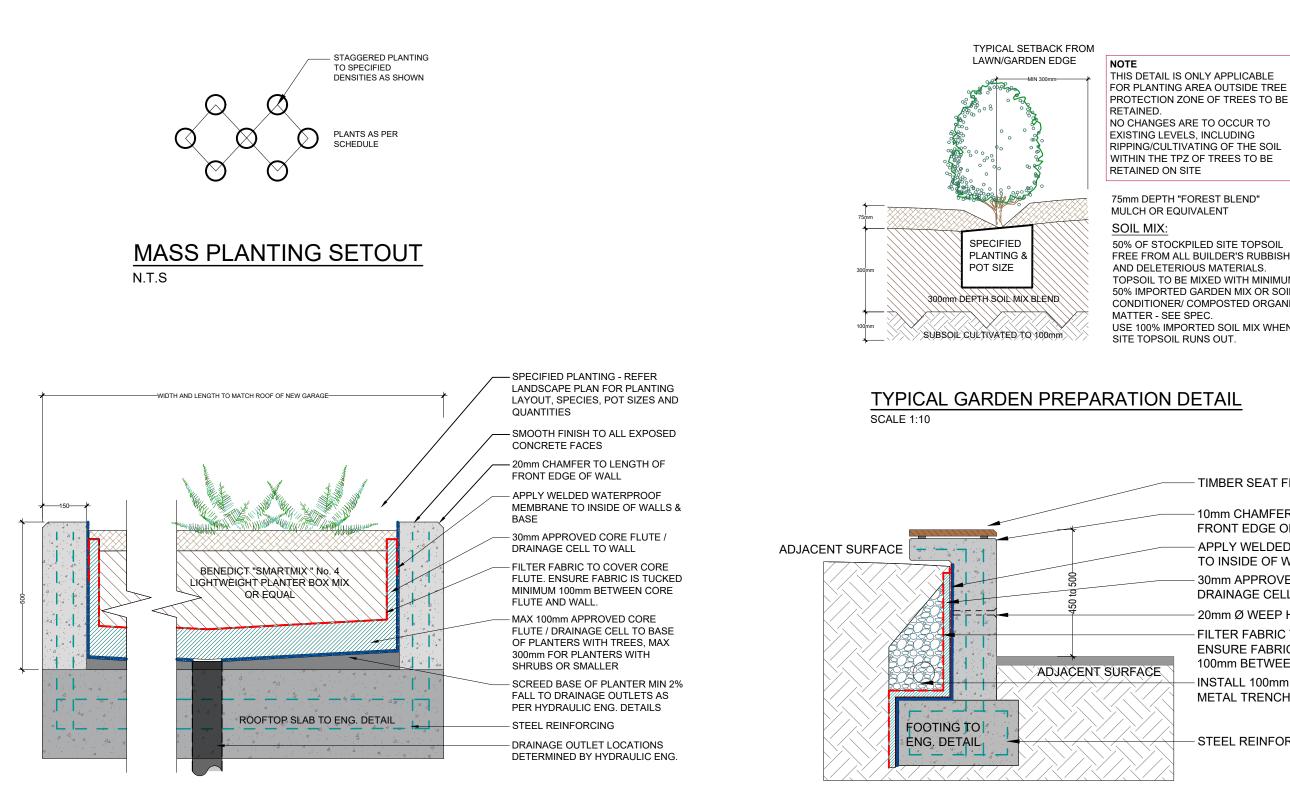
Cordyline australis



- 2 S. nicolai - 4 C. australis - 15 Banksia 'Little Eric' - 11 M. 'Fiji Fire'



er l		DWG.No: LPDA 20	- 152 / 2	
Ń) PROPOSED APARTMENT DEVELOPMENT		@ A3	
CCUS liller St W 2062	691 PITTWATER ROAD	FEB 2020		
2 5312 9 4982 861 351	DEE WHY	R.H/K.Z	CHECKED: R.F	



SECTION: VEGE GARDEN ON SLAB DETAIL

SCALE 1:10

NOTATION/AMENDMENT REV DATE COUNCIL General Notes: AILA Associate www.dialbeforeyoudig.com.au A 06.02.20 Preliminary plan prepared for review Northern Beaches ce to scale readings. Verify all dimensions on site. PDF'd plan DIAL1100 BEFORE YOU DIG vary slightly in Scale for that indicated on plans. Report any discrepancies to the Landscap CLIENT hitect before proceeding with the work. CONZe Copyright Sulphurcrest Enterprises Pty Ltd Trading as CONZEPT GANNET DEVELOPMENTS Australian Institute of Landscape Architects rawing is protected by copyright. All rights are reserved. no part of this drawing may in any form or by any means I ARCHITECT Landscape Archi **BKA ARCHITECTURE** Suite 101, 506 I CAMMERAY NS e Status of this drawing is not signed off For Construction it may be subjec Conzept dment at the discretion of our office. If so, Concept is not liable for any loss, damage, harm or injury er special, consequential, direct or indirect, suffered by you or any other person as a result of your us drawing for condensition ensures. andscane Architects STATUS / ISSUE Phone: 992 www.conzept.net.au Fax: 8209 enquiries@conzept.net.au Mob: 0413 all agreed payments are made in full. We retain the right to withdraw this information from the assessment cess if such payments are not made following the notification period. DA - ISSUE A

SCALE 1:20

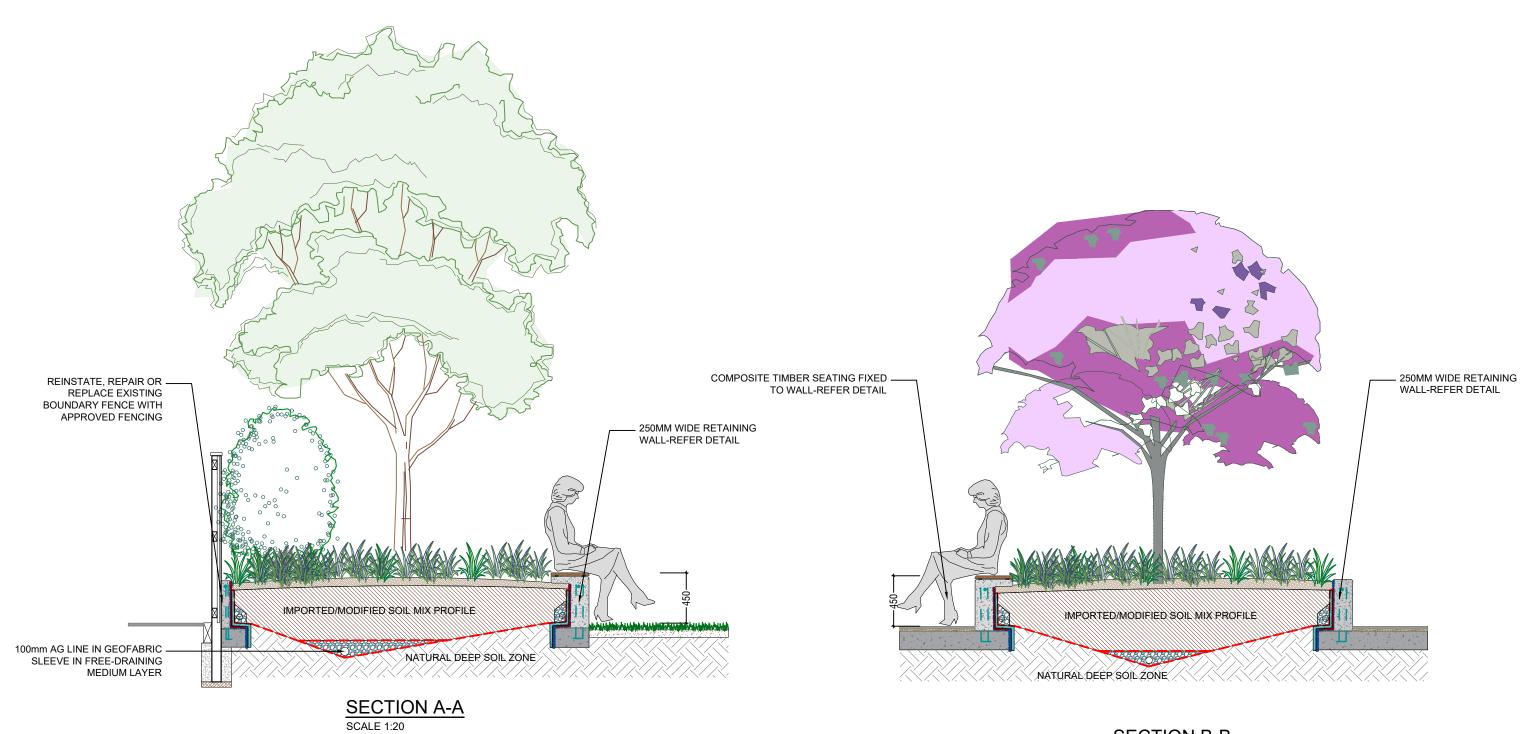
001 331					
2 5312 9 4982 861 351	DEE WHY	R.H/K.Z	CHECKED: R.F		
Miller St SW 2062	691 PITTWATER ROAD	FEB 2			
lects	DEVELOPMENT	DATE:			
	PROPOSED APARTMENT	AS SHOWN @ A3			
S.	DETAILS	LPDA 20	- 152 / 3		
тіт	LE:	DWG.No:			

TYPICAL IN SITU RETAINING WALL WITH SEAT

	- TIMBER SEAT FIXED ON CONCRETE
	- 10mm CHAMFER TO LENGTH OF FRONT EDGE OF WALL
	- APPLY WELDED WATERPROOF MEMBRANE TO INSIDE OF WALL & FOOTING
	– 30mm APPROVED CORE FLUTE / DRAINAGE CELL TO WALL
	– 20mm Ø WEEP HOLE
RFACE	- FILTER FABRIC TO COVER CORE FLUTE. ENSURE FABRIC IS TUCKED MINIMUM 100mm BETWEEN CORE FLUTE AND WALL.
	- INSTALL 100mm AG. LINE TO BASE OF BLUE METAL TRENCH
	- STEEL REINFORCING

SOIL MIX:
50% OF STOCKPILED SITE TOPSOIL
FREE FROM ALL BUILDER'S RUBBISH
AND DELETERIOUS MATERIALS.
TOPSOIL TO BE MIXED WITH MINIMUM
50% IMPORTED GARDEN MIX OR SOIL
CONDITIONER/ COMPOSTED ORGANIC
MATTER - SEE SPEC.
USE 100% IMPORTED SOIL MIX WHEN
SITE TOPSOIL RUNS OUT.

NO CHANGES ARE TO OCCUR TO EXISTING LEVELS, INCLUDING RIPPING/CULTIVATING OF THE SOIL WITHIN THE TPZ OF TREES TO BE RETAINED ON SITE



SECTION B-B SCALE 1:20

General Notes:	AILA Associate		REV	DATE	NOTATION/AMENDMENT	COUNCIL		1
Ceneral Notes.		www.dialbeforeyoudig.com.au	A	06.02.20	Preliminary plan prepared for review	Northern Beaches		
Figured dimensions take preference to scale readings. Verify all dimensions on site. PDPd plans			В	13.02.20	Coordinate with architectural updates			
may vary slightly in Scale for that indicated on plans. Report any discrepancies to the Landscape Architect before proceeding with the work.	đe	DIAL1100			·	CLIENT	Com	-
Copyright Sulphurcrest Enterprises Pty Ltd Trading as CONZEPT \textcircled{C} (ABN: 75 623 405 630)	Australian Institute of Landscape Architects	BEFORE YOU DIG				GANNET DEVELOPMENTS		zepi
This drawing is protected by copyright. All rights are reserved. Unless permitted under the Copyright Act 1968, no part of this drawing may in any form or by any means be reproduced, published, broadcast or transmitted without the pering written permission of the copyright onwer.						ARCHITECT	Landscape	e Architect
If the Status of this drawing is not signed off For Construction it may be subject to change, alteration or amendment at the discretion of our office. If so, Conzept is not liable for any loss, damage, harm or injury						BKA ARCHITECTURE		Suite 101, 506 Miller S CAMMERAY NSW 206
whether special, consequential, direct or indirect, suffered by you or any other person as a result of your use of this drawing for construction purposes.						STATUS / ISSUE		Phone: 9922 531
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	LE:	DWG.No:	
	SECTIONS	LPDA 20	- 152 / 4
		SCALE:	
	PROPOSED APARTMENT	AS SHO	WN @ A3
iecis	DEVELOPMENT	DATE:	
Miller St		FEB 20	020
SW 2062	691 PITTWATER ROAD	DRAWN:	CHECKED:
2 5312	DEE WHY	R.H/K.Z	R.F
861 351			

LANDSCAPE WORK SPECIFICATION

PRELIMINARIES

1.01 GENERAL

The following general conditions should be considered prior to the commencement of landscape works:

The landscape plans should be read in conjunction with the architectural plans, hydraulic plans, service plans and survey prepared for the proposed development.

- All services including existing drainage should be accurately located prior to the common services including existing drainage should be accurately located prior to the common services. ment of landscape installation. Any proposed tree planting which falls close to services will be relocated on site under the instruction of the landscape architect Installation of conduit for required irrigation, electrical and other services shall be completed prior to the commencement of hardscape
- works and hardstand pours
- All outdoor lighting specified by architect or client to be installed by qualified electrician
 Anomalies that occur in these plans should be brought to our immediate attention.
- Where an Australian Standard applies for any landscape material testing or installation technique, that standard shall be followed.

1.02 PROTECTION OF ADJACENT FINISHES

The Contractor shall take all precautions to prevent damage to all or any adjacent finishes by providing adequate protection to these areas surfaces prior to the commencement of the Works

1.03 PROTECTION OF EXISTING TREES

Existing trees identified to be retained shall be done so in accordance with AS 4970-2009 Protection of trees on development sites as well as in accordance with the tree protection measures prepared by project arborist.

Where general works are occurring around such trees, or pruning is required, a qualified Arborist shall be engaged to oversee such works and manage tree health.

Existing trees designated on the drawing for retention shall be protected at all times during the construction period. Any soil within the drip-line of existing trees shall be excavated and removed by hand only. No stockpiling shall occur within the root zone of existing trees to be retained.

Any roots larger in diameter than 50mm shall only be severed under instruction by a qualified arborist. Roots smaller than 50mm diameter shall be cut cleanly with a saw

Temporary fencing shall be installed around the base of all trees to be retained prior to the commencement of landscape works. Where ble this fencing will be located around the drip line of these trees, or a minimum of 3m from the trunk. The fencing shall be maintained for the full construction period.

1.04 EROSION & POLLUTION CONTROL

The Contractor shall take all proper precautions to prevent the erosion of soil from the subject site. The contractor shall install erosion & sediment control barriers and as required by council, and maintain these barriers throughout the construction period. Note that the sediment control measures adopted should reflect the soil type and erosion characteristics of the site.

Erosion & pollution control measures shall incorporate the following:

Construction of a sediment trap at the vehicle access point to the subject site Sediment fencing using a geotextile filter fabric in the location indicated on the erosion control plan or as instructed on site by the

landscape architect.

Earth banks to prevent scour of stockpiles Sandbag kerb sediment traps

- Straw bale & geotextile sediment filter
- Exposed banks shall be pegged with an approved Jute matting in preparation for mass planting

Refer to 'Guidelines for Erosion and Sediment Control on Building Sites' by DLWC (2000) for construction techniques

SOIL WORKS

2.01 MATERIALS

Specified Soil Conditioner (Generally to improve site soil) The specified soil conditioner for site top-soil improvement shall be an organic mix complies with AS 4454-2012 Composts, soil conditioners and mulches. Note that for sites where soil testing indicates toxins or extremes in pH, or soils that are extremely poor, allow to excavate and supply 300mm of imported soil mix.

New gardens & proposed Planting New garden and planting areas shall consist of a 50/50 mix of clean site soil (refer d) below) and imported soil. All mixes are to comply with AS4419-2003 Soils for Landscaping and garden use, & AS 4454 Composts, Soil conditioners & mulches.

Specified Soil Mix - Turf

The specified soil mix for all turf areas shall be a min 75mm layer of imported soil mix consisting of 80% washed river sand (reasonably coarse), and 20% composted organic matter equivalent to mushroom compost or soil conditioner, or other approved lawn top dress.

Site Topsoil

Site topsoil is to be clean and free of unwanted matter such as gravel, clay lumps, grass, weeds, tree roots, sticks, rubbish and plastics, and any deleterious materials and materials toxic to plants. The topsoil must have a pH of between 5.5 and 7. Use 100% imported soil mix when site when site topsoil runs out.

2.02 INSTALLATION

Note: No level changes (Cut or Fill), soil ripping within the Tree Protection Zones of trees to be retained

a) Testing All testing is to be conducted in accordance with AS4419-2003 Soils for Landscaping and garden use Methods for testing soils for engineering purposes. Site soil shall be given a pH test prior to modifying to ensure conditions are appropriate for planting as stated above. Tests shall be taken in several areas where planting is proposed, and the pH shall be adjusted accordingly with sulphur or lime to suit.

Note that a soil test conducted by the Sydney Environmental & Soil Laboratory or approved equal shall be prepared for all commercial industrial and multi-unit residential sites. The successful landscape contractor shall implement the recommendations of this test.

Set Out of Individual Trees & Mass Planting Areas

All individual tree planting positions and areas designated for mass planting shall be set out with stakes or another form of marking, ready for inspection and approval. Locate all services.

c) Establishing Subgrade Levels Subgrade levels are defined as the finished base levels prior to the placement of the specified material (i.e. soil conditioner). The following subgrade levels shall apply Mass Planting Beds - 300mm below existing levels with specified imported soil mix

Turf areas - 100mm below finished surface leve

Note that all subgrades shall consist of a relatively free draining natural material, consisting of site topsoil placed previously by the Civil Contractor. No builders waste material shall be acceptable.

Subgrade Cultivati

Cultivate all subgrades to a minimum depth of 100mm in all planting beds and all turf areas, ensuring a thorough breakup of the subgrade into a reasonably coarse tilth. Grade subgrades to provide falls to surface and subsurface drains, prior to the placement of the final specified soil

Drainage Works

Install surface and subsurface drainage where required and as detailed on the drawing. Drain subsurface drains to outlets provided, with a minimum fall of 1:100 to outlets and / or service pits.

Placement and Preparation of Specified Soil Conditioner & Mixes. Trees in turf & beds - Holes shall be twice as wide as root ball and minimum 100mm deeper - backfill hole with 50/50 mix of clean site soil and imported "Organic Garden Mix" as supplied by ANL or approved equal

Mass Planting Beds - Install specified soil conditioner to a compacted depth of 100mr

Place the specified soil conditioner to the required compacted depth and use a rotary hoe to thoroughly mix the conditioner into the top 300mm of garden bed soil. Ensure thorough mixing and the preparation of a reasonably fine tilth and good growing medium in preparation for planting.
Turf Areas - Install specified soil mix to a minimum compacted depth of 75mm.

Place the specified soil mix to the required compacted depth and grade to required finished soil levels, in preparation for planting and turfing.

PLANTING

3.01 MATERIALS

Quality and Size of Plant Material

All trees supplied above a 25L container size must be grown and planted in accordance with AS 2303:2019 Tree stock for landscape use. Certification that trees have been grown to AS2303:2018 guidelines is to be provided upon request of Council's Tree Manage Officer

Above - Ground Assessment:

The following plant quality assessment criteria should be followed

Plant true to type, Good vigour and health, free from pest & disease, free from injury, self-supporting, good stem taper, has been pruned correctly, is apically dominant, has even crown symmetry, free from included bark & stem junctions, even trunk position in pot, good stem structure

Below - Ground Assessment:

Good root division & direction, rootball occupancy, rootball depth, height of crown, non-suckering For further explanation and description of these assessment criteria, refer to AS2303:2019.

All Plant material shall be to the type and size specified. No substitutions of plant material shall be permitted without written prior approval by the Landscape Architect. No plant shall be accepted which does not conform to the standards listed above

b) Stakes and Ties Provide min. 3 No. Stakes and ties to all plants identified as trees in the plant schedule. Stakes shall be sound, unpainted, straight hardwood, free of knots and pointed at one end. They shall be 2200mm x 50mm x 50mm Hardwood, or approved alternative. Ties shall be 50mm wide hessian webbing materia

c) Fertilisers Fertilisers shall be approved slow release fertilisers suitable for the proposed planting types. Note that for native plants, specifically Proteaceae family plants including Grevillea species, low phosphorus fertilizers shall be used.

Mulch shall be an approved equal to "Forest Blend" as supplied by ANL. Mulch shall be completely free from any soil, weeds, rubbish or other debris.

Turf Turf shall be soft leaf Buffalo or equivalent (unless stated otherwise), free from any weeds and other grasses, and be in a healthy growing

3.02 INSTALLATION

Setting Ou

All planting set out shall be in strict accordance with the drawings, or as directed. Note that proposed tree planting located near services should be adjusted at this stage. Notify Landscape Architect for inspection for approval prior to planting.

Planting

All plant material shall be planted as soon after delivery as possible. Planting holes for trees shall be excavated as detailed and specified. Plant containers shall be removed and discarded, and the outer roots gently teased from the soil mass. Immediately set plant in hole and backfill with specified soil mix, incorporating the approved quantity of fertiliser for each plant type. Ensure that plants are set plumb vertically and root balls set to the consolidated finished grades detailed on the drawings. Compact the backfilled soil and saturate by hand watering to expel any remaining air pockets immediately after planting.

Staking and Tying

Staking and tying shall be in strict accordance with the drawings and shall occur immediately following plant placement and soil backfilling. All plants identified as "Trees" on the planting schedule shall be staked with a min. 3 stakes.

Mulching

Mulch for general planter bed shall be an approved equal to "Forest Blend" as supplied by ANL. Mulch shall be completely free from any soil, weeds, rubbish or other debris. Mulch for bio-retention/rain garden area where is required shall be non-floatable materials that could include crushed rock, gravel, coarse river sand, scoria or river pebbles, 4-7mm screenings or similar, Turfing

Moisten soil prior to the turf being laid. Turf shall be neatly butt jointed and true to grade to finish flush with adjacent surfaces. Incorporate a lawn fertilizer and thoroughly water in. Keep turf moist until roots have taken and sods/rolls cannot be lifted. Keep all traffic off turf until this has occurred. Allow for top dressing of all turf areas. All turf shall be rolled immediately following installation

Nature Strip and public domain works

The nature strip (street frontage) for the site is public land, and only authorized works may occur here

Existing Conditions such as street trees, council planting etc shall be retained and protected during construction, unless specific approval has been granted for new work in this area. Where council policy specifies a particular unit paver, material finish, pattern or treatment, it shall be the contractors responsibility to check and verify that this material & treatment is correct and current prior to undertaking construction works'

HARDSCAPE WORKS

4.01 GENERAL

The Contractor shall undertake the installation of all hardscape works as detailed on the drawing, or where not detailed, by manufacturers

General Notes:	AILA Associate		REV	DATE	NOTATION/AMENDMENT	COUNCIL	1
		www.dialbeforeyoudig.com.au	Α	06.02.20	Preliminary plan prepared for review	Northern Beaches	
Figured dimensions take preference to scale readings. Verify all dimensions on site. PDF'd plans							
may vary slightly in Scale for that indicated on plans. Report any discrepancies to the Landscape Architect before proceeding with the work.	<u>je</u>	DIAL1100				CLIENT	Company
Copyright Sulphurcrest Enterprises Pty Ltd Trading as CONZEPT ⓒ (ABN: 75 623 405 630)	Australian Institute of Landscape Architects	BEFORE YOU DIG				GANNET DEVELOPMENTS	-Conzept
This drawing is protected by copyright. All rights are reserved. Unless permitted under the Copyright Act 1968, no part of this drawing may in any form or by any means be reproduced, published, broadcast or transmitted without the prior written permission of the copyright owner.						ARCHITECT	Landscape Architects
If the Status of this drawing is not signed off For Construction it may be subject to change, alteration or						BKA ARCHITECTURE	Conzept Suite 101, 506 Miller St
amendment at the discretion of our office. If so, Conzept is not liable for any loss, damage, harm or injury whether special, consequential, direct or indirect, suffered by you or any other person as a result of your use							Landscape Architects CAMMERAY NSW 2062
of this drawing for construction purposes.						STATUS / ISSUE	Phone: 9922 5312
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process if such payments are not made following the notification period.							enquiries@conzept.net.au Mob: 0413 861 351

shall nominate the appropriate paving material to be used.

IRRIGATION WORKS

•

5.01 GENERAL (PERFORMANCE SPECIFICATION)

building contractual arrangements on terraces, over slabs and in Communal Open Spaces determined by the building contract.

New irrigation systems to planting areas shall be a Commercial Grade Irrigation System conforming to all relevant Australian standards, including AS 3500 & the Gas and Electricity (Consumer Safety) Act 2017, Workplace Health & Safety Act 2011, & the latest Sydney Water Code

efficient usage of wate

Services Co-ordination:

service and conduit locations.

CONSOLIDATION AND MAINTENANCE

Topping up of mulched areas

water supply.

length of time

6.01 GENERAL

· Paving - refer to typical details provided, and applicable Australian Standards. Permeable paving may be used as a suitable means of satisfying Council permeable surface requirements, while providing a useable, hardwearing, practical surface. In most instances, the client

Australian Standards shall be adhered to in relation to all concrete, masonry & metal work. Some details are typical and may vary on site. All hardscape works shall be adhered to in relation to all concrete, masonry & metal work. Some details are typical and may vary on site. All workmanship shall be of the highest standard. Any queries or problems that arise from hardscape variations should be bought to the attention of

the Landscape Architect. Your attention is directed to any obligations or responsibilities under the Dividing Fences Act, 1991 in respect of adjoining property owner/s which may arise from this application. Any enquiries in this regard may be made to the Crown Lands on 1300 886 235.

This is a general Irrigation Performance Specification only, as a guide for projects requiring irrigation systems as part of consent requirements or

An automated irrigation system is recommended for the effective establishment of new gardens, and to assist with the success of planting areas

The inclusion of this general specification is no guarantee that an irrigation system forms part of the landscape scope of works, which will be

An automated drip-irrigation system is to be installed to all gardens, planters and lawn areas in accordance with the approved Irrigation Design. This system shall be designed and installed by a qualified and licensed irrigation specialist, to the highest industry standards and to maximise the

The Installer is required to obtain all approvals necessary for the completion of works in accordance with the Laws of Australia, Laws of the State of NSW, Northern Beaches Council By-Laws and Ordinances.

Drawings:
- The Landscape Contractor nominated Licensed Irrigation Specialist shall provide irrigation drawings for approval upon engagement.

 Design Requirements:

 The irrigation system shall be installed prior to all planting works. It shall incorporate a commercially available irrigation system, with the state of and state of an and state of a sta It shall incorporate a suitable back flow prevention device for the scale of works, an in-line filter, check valves, and suitable high and low density poly hose fittings and PVC piping to achieve flow rates suitable for specified planting. - The irrigation application rate shall not exceed the infiltration rate of the soil or creates run-off

The landscape contractor shall check the existing pressure available from the ring mains and size irrigation piping to suit. Supply shall be

All piping and fittings shall be buried 50mm below the finished soil levels in garden and lawn areas, and secured in position at 500mm

centres with galv wire pins.
- Size of pipes shall be selected to ensure the working pressure at the end of the line does not decrease by more than 5%

Co-ordination required by Landscape Contractor or Project Manager to provide required conduit, pipe work and penetration through slabs and planter walls for water and power provi

The Landscape Contractor shall be engaged with the Irrigation Specialist to co-ordinate with the Project Manager to identify the preferred

Project Manager and Landscape Contractor to establish area suitable for irrigation control system with required area, power provision and

Testing & Defects: Upon completion of installation, the system shall be tested, including

Main Line Pressure Test: The main line is pressurised to test for leaks. All valves are shut and the pressure is taken over a determined

Dripper Pressure Test: Measurement at flushing valves are taken and the pressure gauged to make sure it conforms to the manufacturer recommendations. The inlet pressure is then tested under the same conditions to check it does not exceed 300Kpa. All components are to be satisfactorily functional and operational prior to approval. Should any defect develop, or the capacity or efficiency of the system decline during the agreed maintenance system, then these faults shall be immediately rectified.

Warranty : - A full 12 month warranty shall be included to cover labour and all parts.

- On request, a detailed irrigation performance specification report can be issued.

The consolidation and maintenance period shall be 12 months beginning from the approved completion of the specified construction work (Practical Completion). A qualified landscape maintenance contractor shall undertake the required landscape maintenance works. Consolidation and maintenance shall mean the care and maintenance of Contracted works by accepted landscaping or horticultural practices, ensuring that all plants are in optimum growing conditions and appearance at all times, as well as rectifying any defects that become apparent in the contra

This shall include, but not be limited to, the following items where and as required: • Watering all planting and lawn areas / irrigation maintenance.

Clearing litter and other debris from landscaped areas.

Removing weeds, pruning and general plant mai

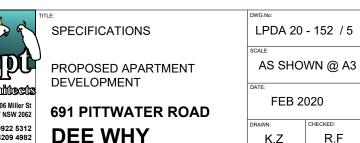
Replacement of damaged, stolen or unhealthy plants. Make good areas of soil subsidence or erosion

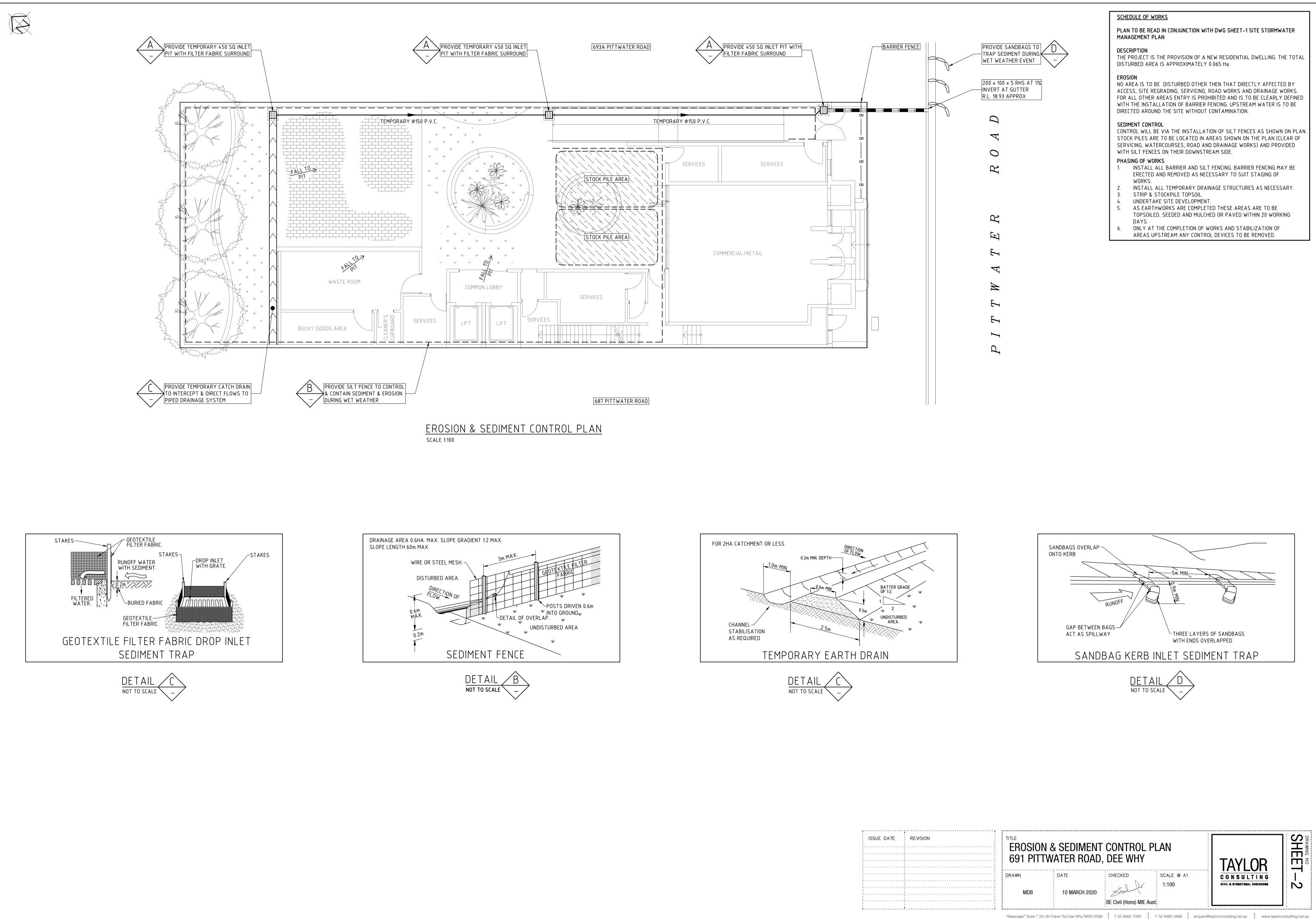
Spray / treatment for Insect and disease control. Fortilizing with approved fertilizers at correct rates. Mowing lawns & trimming edges each 14 days in summer or 18 days in winter

Adjusting ties to Stakes Maintenance of all paving, retaining and hardscape eleme

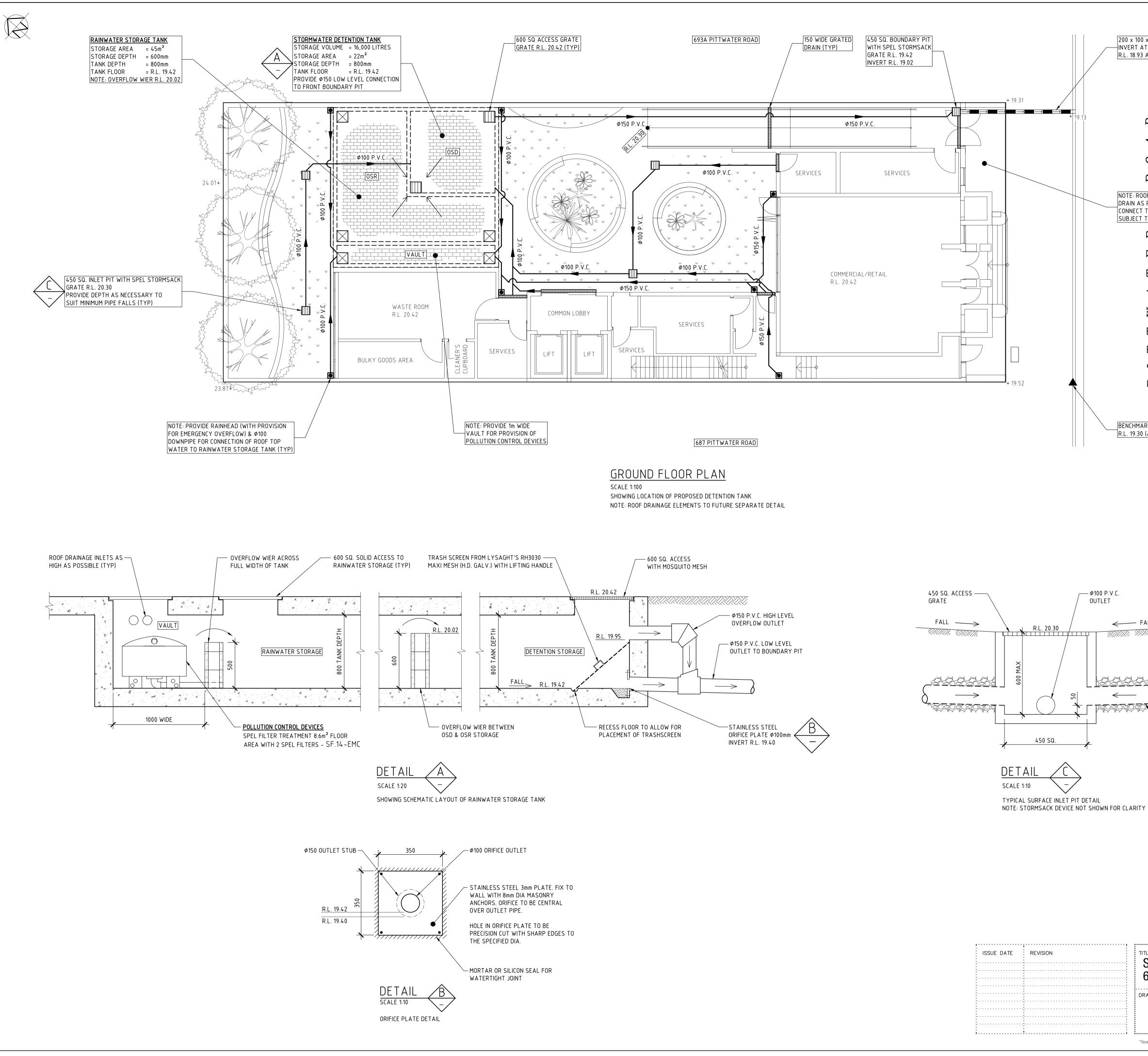
architect, the responsibility will be signed over to the client.

On the completion of the maintenance period, the landscape works shall be inspected and at the satisfaction of the superintendent or landscape





ISSUE DATE	REVISION



	DRAINAGE NOTES
	1. + DENOTES EXISTING GROUND LEVEL
00 x 5 RHS AT 1%	2. FALL STORMWATER PIPES AT 1% MIN. UNLESS OTHERWISE NOTED.
AT GUTTER 93 APPROX	3. SUB-SOIL DRAINAGE TO BE CONNECTED TO THE SITE DRAINAGE SYSTEM AS NECESSARY.
	4. SURFACE GRATES 300 SQ. UNLESS OTHERWISE NOTED.
	5. ALL STORMWATER PIPES TO HAVE SOLVENT CEMENT WATERTIGHT JOINTS.
	 CHECK & LOCATE DEPTH OF EXISTING MAINS & SERVICES PRIOR TO CONSTRUCTION OF STORMWATER SYSTEM AS VARIATIONS IN POSITION OF MAINS COULD AFFECT DRAINAGE CONSTRUCTION DETAILS.
\sim	 INSPECTIONS MUST BE UNDERTAKEN BY THIS OFFICE (BY PRIOR ARRANGEMENT WITH ENGINEER) DURING CONSTRUCTION TO ENABLE FULL CERTIFICATION UPON COMPLETION OF WORKS.
Π	8. ALL CONSTRUCTION OF COUNCIL DRAINAGE WORKS TO COMPLY WITH COUNCIL STANDARD.
A	9. REMOVE REDUNDANT DRAINAGE PITS AND SEAL PIPES.
	10. PIT BENCHING TO BE HALF THE OUTGOING PIPE DIAMETER. CONCRETE FOR BENCHING TO BE 20 MPa MASS CONCRETE.
0	11. APPROVED PRE-CAST PITS MAY BE USED.
R	12. ALL PIPES TO BE LAID ON COMPACTED FINE CRUSHED ROCK OR SAND BEDDING 75mm THICK
	2. ALL FIELS TO BE LAID ON COMPACTED FINE CROSHED KOCK OK SAND BEDING (SIMII) FINER & PIPES BACKFILLED WITH COMPACTED SAND TO 300mm ABOVE TOP OF PIPE, ELSE ATTACHED TO UNDERSIDE OF STRUCTURE AT 600mm c/c AS NECESSARY
OOF AREAS AT STREET FRONT ARE TO AS PER EXISTING ARRANGEMENT OTHERWISE T TO BOUNDARY PIT AS NECESSARY & T TO APPROVAL BY SUPERVISING ENGINEER	 PIPE ROUTES SHOWN ARE INDICATIVE ONLY AND SHOULD BE AS NECESSARY ACCORDING TO SITE CONDITIONS, TREE POSITIONS ETC. CONFIRM SIGNIFICANT CHANGES IN PIPES SYSTEM DETAILS WITH SUPERVISING ENGINEER PRIOR TO COMMENCEMENT OF DRAINAGE CONSTRUCTION WORKS.
	14. CONTRACTOR SHALL ENSURE THAT SERVICES TO BUILDINGS NOT AFFECTED BY THE WORKS
EI EI	ARE NOT DISRUPTED. CONTRACTOR SHALL CONSTRUCT TEMPORARY SERVICES TO MAINTAIN EXISTING SUPPLY TO BUILDINGS WHERE REQUIRED. ONCE WORKS ARE COMPLETE AND COMMISSIONED THE CONTRACTOR SHALL REMOVE ALL TEMPORARY SERVICES AND MAKE GOOD ALL DISTURBED AREAS.
L	15. STORMWATER SYSTEM REQUIRES SIGNIFICANT MAINTENANCE DUE TO POTENTIAL HIGH POLLUTANT LOAD. FILTERS AND POLLUTANT TRAPS SHOULD BE CHECKED AFTER LARGE STORM EVENTS AND CLEANED EVERY 6 MONTHS.
${\cal V}$	16. PLUMBING AND DRAINAGE WORKS TO COMPLY WITH AS-3500, THE NATIONAL DRAINAGE 8 PLUMBING CODE.
M	17. WHERE POSSIBLE DRAINAGE LINES SHALL BE LAID IN AREAS PREVIOUSLY DISTURBED BY OTHER SITE WORKS AND FOLLOW TOPOGRAPHICAL FEATURES TO REDUCE IMPACT AND AVOID TREE ROOTS
T	18. THIS STORMWATER MANAGEMENT PLAN HAS BEEN PREPARED FOR D.A. SUBMISSION TO COUNCIL AND DOES NOT NECESSARILY CONTAIN ALL APPROPRIATE INFORMATION TO
r	ENABLE FOR ISSUE TO PLUMBER/BUILDER FOR CONSTRUCTION. CONTACT TAYLOF CONSULTING FOR MORE INFORMATION.
F	RAINWATER RE-USE NOTES AND SPECIFICATIONS
Ι	1. ROOF WATER ONLY TO BE DRAINED TO THE RAINWATER STORAGE TANK.
0	2. THE RAINWATER STORAGE TANK NEEDS TO BE CONNECTED FOR RE-USE
	AS REQUIRED BY THE OWNER.
	 RAINWATER STORAGE TANK TO BE CONFIGURED IN ACCORDANCE WITH SYDNEY WATER SPECIFICATIONS 'GUIDELINES FOR RAINWATER TANK ON RESIDENTIAL PROPERTIES'.
IARK CUT IN KERB 10 (A.H.D.)	4. PROVIDE MAINS 'TOP-UP' SUPPLY TO RAINWATER TANK. MAINS TOP-UP ZONE TO BE BASED ON THE DAILY NON-POTABLE USAGE THAT MAY BE EXPECTED FROM THE TANK.
	5. PROVIDE A MECHANICAL PUMPING ARRANGEMENT (IN SOUND-PROOF HOUSING) TO PUMP SUPPLIERS SPECIFICATION TO SUIT INTENDED USAGE OF RAINWATER STORAGE. PUMPING ARRANGEMENTS MUST COMPLY WITH EPA GUIDELINES.
	 INLETS TO RAINWATER TANK MUST BE SCREENED TO PREVENT THE ENTRY OF FOREIGN MATTER, ANIMALS OR INSECTS.
	7. A SIGN MUST BE AFFIXED TO THE RAINWATER TANK CLEARLY STATING THAT THE
	WATER IN THE TANK IS RAINWATER AND IS NOT TO BE USED FOR HUMAN CONSUMPTION.
	8. RAINWATER TANK TO BE PLACED ON A STRUCTURALLY ADEQUATE BASE IN ACCORDANCE WITH THE MANUFACTURER'S OR STRUCTURAL ENGINEER'S DETAILS.
	9. THE TANK MUST NOT BE INSTALLED OVER ANY MAINTENANCE STRUCTURE OR FITTINGS
	USED BY A PUBLIC AUTHORITY.
	10. RAINWATER TANK AND ASSOCIATED PLUMBING WORKS TO BE INSTALLED AND CONFIGURED BY A LICENSED PLUMBER. PUMP TO BE INSTALLED BY A LICENSED
	CONFIGURED BY A LICENSED PLUMBER. PUMP TO BE INSTALLED BY A LICENSED ELECTRICIAN.
	CONFIGURED BY A LICENSED PLUMBER. PUMP TO BE INSTALLED BY A LICENSED ELECTRICIAN. OSD SYSTEM DESIGN DATA
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FALL	CONFIGURED BY A LICENSED PLUMBER. PUMP TO BE INSTALLED BY A LICENSED ELECTRICIAN. OSD SYSTEM DESIGN DATA SITE DATA SITE AREA = 650 m ² EXISTING SITE = 100% PAVED DEVELOPED SITE = 100% PAVED PERMISSIBLE SITE DISCHARGE PSD = 20 I/s (MAX 'Q' TO KERB DETENTION SYSTEM DATA
	CONFIGURED BY A LICENSED PLUMBER. PUMP TO BE INSTALLED BY A LICENSED ELECTRICIAN. OSD SYSTEM DESIGN DATA SITE DATA SITE AREA = 650 m ² EXISTING SITE = 100% PAVED DEVELOPED SITE = 100% PAVED PERMISSIBLE SITE DISCHARGE PSD = 20 I/s (MAX 'Q' TO KERB

